

inspection

# report



2427 Kudrow Valley Lane

Generated on October 28, 2024 at 1:44PM MDT

October 10, 2024

*"Every little thing matters. The devil is in the details."*

## the summary

what you need to make an informed decision

## the insurance

stuff you'll need for your insurance policy



the

# elements



October 10, 2024



2427 Kudrow Valley Lane  
Calgary, Alberta



Detached



Sunny +10



Agent & Client



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Rebecca Chambers



5:51 PM Start Time

the

# method

From the disciplined approach of gathering information & curating, to the mixture of photos & clear narratives. The Method was founded on pure construction experience.

Designed to CONNECT you with the information to help make an informed decision & built to do one thing really well:

Drive the point home.

*"Tell the story, share the knowledge & inspire action"*



the

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# thank you

Thanks for choosing us for your home inspection. We appreciate your confidence in us & it was my pleasure to serve you today.

I will be your primary contact & I will do anything I can to make sure you are fully clear on my findings today.

Please feel free to contact us if you have any questions or if you need further information. We will gladly answer any questions.

Kind Regards,

*Lucas Kirsch*

Lucas Kirsch  
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**72**Seconds

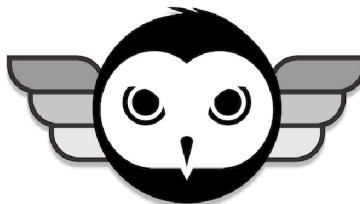


# disclaimer stuff.

**A home inspection is kind of like an annual check-up at the doctor.** It's used to make sure things are working properly & it can be useful in spotting things that might eventually become a problem

Some people actually think we come equipped with a crystal ball, a flux capacitor or even X-Ray vision! Unfortunately, we can't go into the past, go "Back to the Future" or, like Superman, see through walls.

**Disclaimers are boring** so I won't get into that but please understand we can only visually inspect what we see today. Every house is different just like every customer has different expectations of what a home inspection should be. However, we know some people like to read the report in its entirety. Attached we provided you with a full copy of our Standards of Practice & Disclaimers.



If you are reading this then obviously the details matter to you. You'd make a great home inspector.

# legends



## Iconography



## Not Inspected

## Hand Gestures

**Issue:**

**Action:**

**L:**

**T:**

**R:**

**\$ / \$\$ / \$\$\$**

*It's a snap! Here are some key terms you'll see throughout.*

Sometimes we use icons or example images when it provides a more effective representation.

## Immediate Attention

There's some real urgency on the fix.

## Attention

Heads up! This may need to be fixed very soon.

Limits out of our control & or outside of our SOP's

Non-verbal communication in a photo that packs a punch.

Identify the problem if there is one

Recommended path to address the issue

Location where it is found

Typical Tradesperson

Reason why it wasn't inspected

Merely a rough guide of overall cost.

# summary

## DRONE

- **Roof Front View:** Issue: Missing Splash Guard  
Action: Install T: Roofer L: Garage Roof  
Notes: Failure to address this missing component can lead to a number of negative effects regarding moisture management. ( Ice / slipping hazard / erosion )

## EXTERIOR

- **Downspouts:** Issue: Damage  
Action: Repair or Replace  
Notes: Taking proactive measures now will ensure optimal drainage performance in the future. Very easy DIY project!
- **Pathway Material:** Issue: Cracking  
Action: Monitor/improve T: Concrete Sp L: Front Walk  
Notes: Seal off to prevent water and moisture from intruding. If moisture finds its way in freeze / thaw could lead to further deterioration.
- **Foundation:** Issue: Honeycomb / hairline cracks  
Action: Further Evaluate Improve T: Concrete Spec. L: South Sideyard  
Notes: Seal off / inject to prevent moisture intrusion. This can become more pronounced if action is not taken.
- **Back Lower Outlet:** Issue: Tested hot neutral reverse  
Action: Repair or Replace T: Electrician L: West backyard  
Notes: A component of the electrical system. Let's get this looked at ASAP.
- **Hardie Siding:** Issue: Damage noted  
Action: Repair or Replace T: Sider L: South Sideyard  
Notes: This is "just" a chip but should be rectified by the builder. (New home)



# summary

## BATHROOM

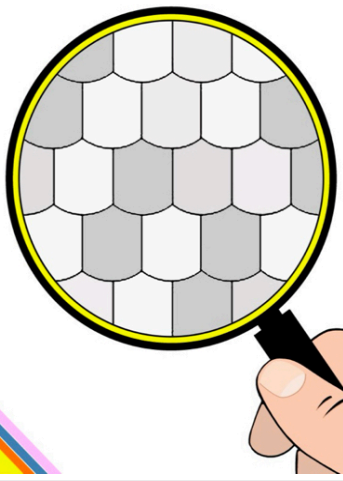
- **The Tub:** Issue: Unsecure / Missing Sealant  
Action: Improve / Secure T: Plumber L: Master  
Notes: Ensuring proper sealant around tub will help prevent potential leaks in the future. Unstable tubs can damage the plumbing resulting in leaks.
- **Toilet:** Issue: Unstable  
Action: Improve T: Plumber L: Ensuite  
Notes: Failure to address this issue may lead to leaks leaks / odors in the future.

## MECHANICAL

- **FYI Panel Clearance:** Issue: Obstructed  
Action: Improve T: General L: Mechroom  
Notes: When know one has room to work in this area it can be a real pain the the butt! Everyone needs access in the event of a problem.
- **Benefits of A Humidifier:** Issue: Evidence of Leak  
Action: Repair or Replace T: Handyman L: Mechanical Room  
Notes: Investigation and appropriate action are recommended to mitigate potential issues down the line. Relatively easy fix.

# R

[BACK TO SUMMARY](#)



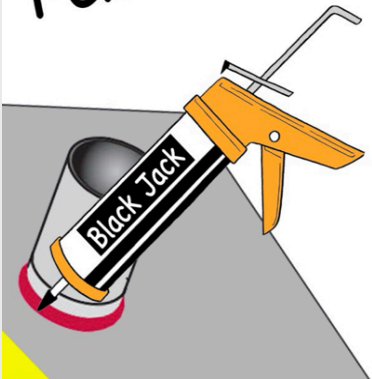
**Why do roofs leak?** High winds, hail, snow, ice & deterioration, or defects in the material. Yearly maintenance will aid in leak avoidance.



**The Roof Surface** This is the outermost layer on the roof charged with providing shelter from the natural elements.

**Roof Observations** Examined for continuity of material & coverage.

## Roof Penetration



**Roof Utility Penetrations** Used in roof assemblies to allow outside air to enter or exit. Such as vents, stacks, flues & others. Perform annual inspections.

**Roof Sealant** Boots & flashings may need replacement & general upkeep over the years.



**Inside Gutter** Regular cleaning of trough/scupper should be part of your yearly maintenance schedule.

**Soffit** Keep clean & free of debris like vegetation. A very important facet of the home!



**Roof Disclaimer Stuff** Minor deterioration or defects in the roofing material are considered to be functional damage. We can not see through the Shingle or membrane to the sheathing & therefore can not be inspected for evidence of leaks. The remaining roof life is approx only & does not preclude the possibility of leakage. Leakage can develop at any time & may depend on rain intensity, wind direction, ice buildup & other factors. Chimney/flue interiors that are not readily accessible are not inspected & could require repair. The roof inspection may be limited by access, condition, weather, or safety concerns.



**Roof Management** The key is leak avoidance. Find & correct defects before they leak by setting up a yearly roof maintenance program with a certified local roofer. It's recommended to schedule a roof tune-up & as part of a regular maintenance schedule every 1-2 yrs. & after significant storm events.



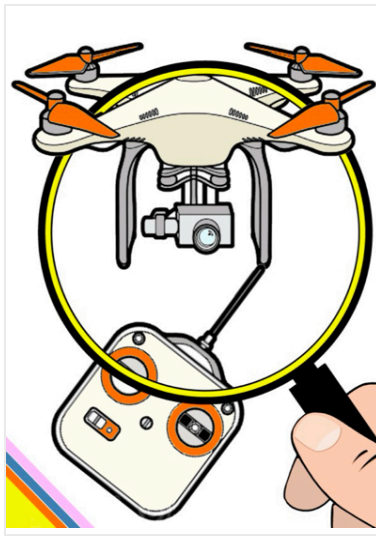
○ **Downspouts** As a recommendation extend the downspouts into the gutters to help prevent against early deterioration of the asphalt shingles. Missing extension. Install.



**Support Photo** Taken from a different perspective.

# D

[BACK TO SUMMARY](#)



**Drone Information** Allows us to enhance the collection of inspection data while removing slower manual steps that place us in danger.



**The View From Above** The roof of a home can account for up to 40% of the home's exterior. From curb appeal to home safety, it's important to keep the home looking sharp & (more importantly) dry. Make sure you look up every once in a while for anything out of the norm.



**Roof Utility Penetrations** Used in roof assemblies to allow outside air to enter or exit. Such as vents, stacks, flues & others. These should all be inspected yearly for deterioration & re-sealed as needed.



**Inside Gutter** Responsible for channeling water flow from your roof through the downspouts & direct it to appropriate areas. Regular cleaning of trough/scupper should be part of your yearly maintenance schedule.





○ **Roof Front View** Splash guards on roofs help prevent water from overflowing gutters during heavy rainfall. They redirect the flow of water, reducing the risk of water damage to the roof, walls, and foundation. By controlling water runoff, splash guards also help protect landscaping, prevent soil erosion, and reduce the likelihood of leaks or mold growth inside the building. Missing Splash Guard . Install.



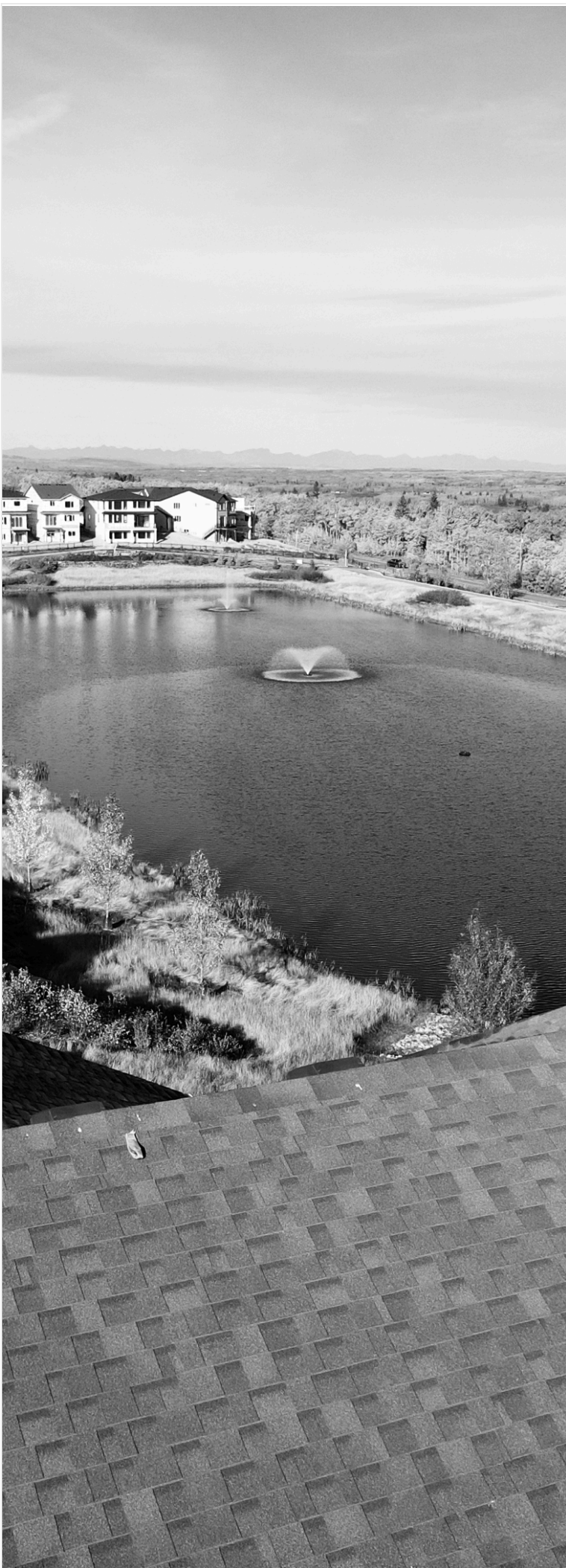
**Roof Side View** Assessed for structural deficiencies



**Roof Side View** For your records.



**Roof Back View** See Photo.



**Bird's Eye View** Most people call them drones. Technically, they're UAVs (unmanned aerial vehicles) or sUAS (small unmanned aircraft systems). No matter what you call them, these flying cameras & sensor holders have rapidly become valuable industrial inspection tools. Drone-based inspections help us improve efficiency & data quality while increasing safety & speed of operation.

The roof of your building can be easy to ignore... until suddenly it's not. Small damage from weathering & aging, as well as less subtle threats like storms, can slowly eat away at the performance & stability of your roof until one day you wake up in need of emergency repairs & end up stuck with a far larger bill than you ever expected.

The solution? Regular, thorough roof inspections conducted by a professional using a drone. From reducing man-hours to ensuring more comprehensive analysis, drones have revolutionized the way property owners & contractors alike think about roof assessment.

# E

BACK TO SUMMARY



**Door info** Intended to protect us from intruders & the elements. Clean gaskets & replace parts as necessary. Who else has a key? Re-key?



**Front Entry** Keeping a good seal is essential to maintaining your home's energy efficiency.

**Back Entry** A well-installed & maintained door will save \$\$\$ on heating & cooling costs.



**Focal Window** It can be a real "Pane" replacing windows. Maintenance is the key to longevity.

**Basement Window** Please refer to local bylaws to understand the correct dimensions for egress.



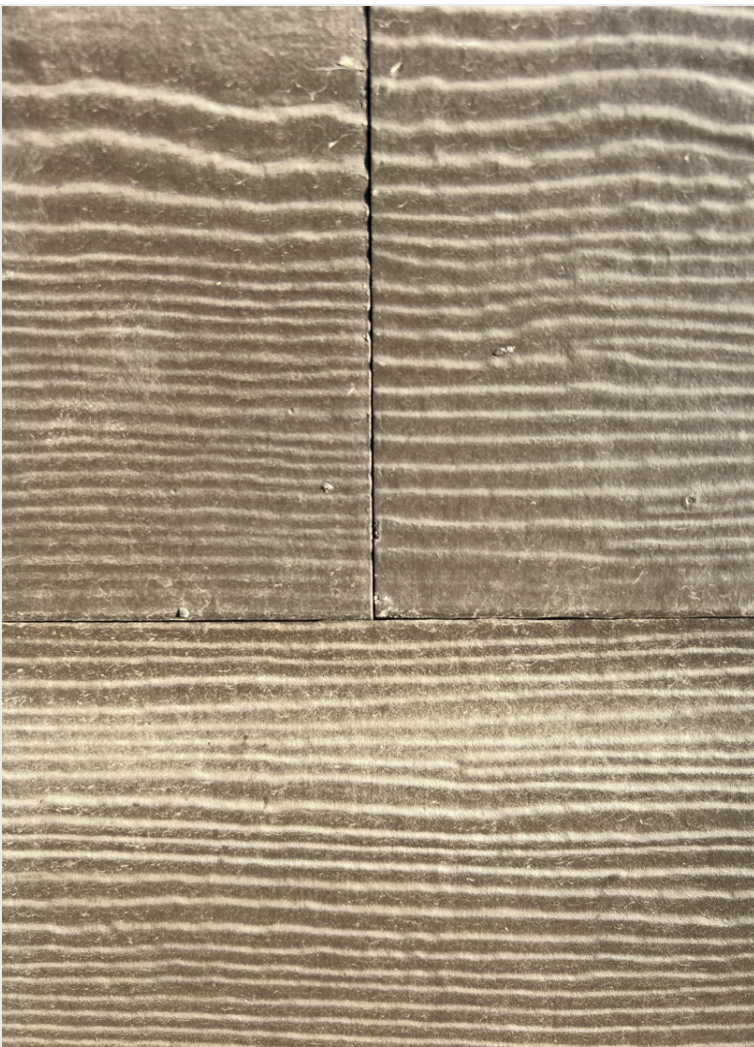
**Exterior Outlet** Weatherproof outlet covers are preferred. Tested for functionality.

**Exterior Faucet** Ensure to properly winterize in the colder months. Turned on & OFF.





**The Eyes of a Home** A window allows the passage of light, sound, & air. Modern windows are usually glazed or covered in some other transparent material. Many glazed windows may be opened to allow ventilation or closed to exclude inclement weather. Visually scanned (From the ground) for defects like blown seals & deterioration. We also re-examine from the inside when testing the operation.



**The Exterior Skin** Much like plants, people, or other living things, the skin of a building is that surface that interacts with the world at large. The skin (cladding) is responsible for protecting the contents, much like our skin protects us. It also makes a statement to our neighbors about the home inside. INFO: This home is comprised of several layers, ie: the wall's outer surface, vapor barrier, insulation, & more... The entire perimeter of the home should be closely monitored for change or damage. Examined for visual defects. Plan to establish a bi-yearly maintenance routine.



**The Vents** Dirty intake/exhaust vents could impede their ability to function.

**Vent Protection & Efficiency** Seal around penetrations, clean lint/debris, remove obstructions & trim back vegetation seasonally.



**Exterior Penetrations** Fill & maintain all utility penetrations leading in or out of the home to prevent moisture intrusion.

**Flashings** These prevent water from entering penetrations in the cladding, like a window or door.



**Electrical Entry Point** How electricity makes its way into the home—either overhead power lines or underground

**The Electrical Meter** Electricity goes through the meter to the main panel & onto the outlets.

## Gas Meter



**Open and close gas meter** It's just good to know how to operate this in the case of an emergency. This is where they shut it down if you miss a bill.

**The Gas Meter** If you ever smell gas, call your local supplier to have it further assessed & keep a wrench handy to shut it down.



**Perimeter Grading** Management of water drainage is paramount! Water should ALWAYS drain away from the foundation.

**Grading** Uneven land prevents proper water drainage, & during rainfall, water can flow towards the home rather than away.



○ **Downspouts** Keep downspouts down & ejecting a minimum of 4' from the foundation. Damage. Repair or Replace.

○ **Pathway Material** It's all about first impressions! Keep clear of tripping hazards & debris. Cracking. Monitor/improve.



**Exterior Cladding** Here is the primary protective layer between your home & the external elements.

**Parging Coat** The semi-protective/cosmetic mortar applied to the foundation is known for two things... it's usually grey & cracks.



**Foundation Stuff** As you know, most of the foundation is impossible to see. We walk around the perimeter to see what catches our eye.

**About Cracks** If two dimes can fit into the crack, get it checked by a structural engineer. Minor fractures can be repaired with a mastic.



○ **Foundation** She bares the weight of the entire house, transferring the force to the ground beneath. Honeycomb / hairline cracks. Further Evaluate Improve.

**Support Photo**



○ **Back Lower Outlet** Tested for anomalies. Tested hot neutral reverse. Repair or Replace.

**Support Photo**



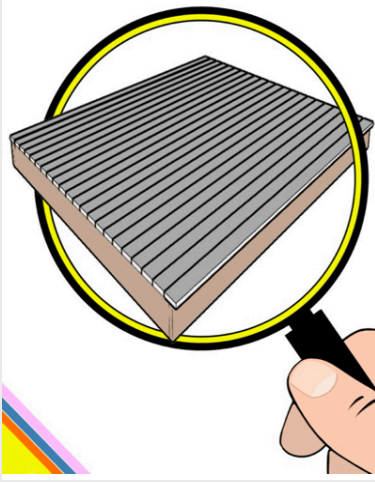
○ **Hardie Siding** Designed to withstand weather & resist moisture damage. Damage noted. Repair or Replace.

**Support Photo**



○ **Column** This vertical structure often offers support but is sometimes decorative. Separation noted.. Sealant tuneup.

**Support Photo**



**Deck Page** Typically made of wood or composite materials, this is place to kick back and relax during the warmer months.

○ **Deck Ledger Board** This horizontal piece of lumber is used to tie in construction elements such as porch roofs & decks. Not visible. Further Evaluate.



**Decking Material Up Close** Visually examined for common defects.

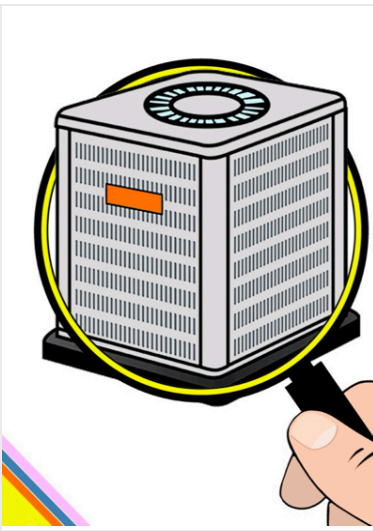
○ **Deck Flashing** The barrier to prevent moisture from entering the house in the openings at the ledger board connection. Not present



**Over-all Deck** Proper deck maintenance involves regular cleaning to remove dirt, debris, and mold to prevent surface damage and improve safety. Inspecting the structure for loose fasteners, damaged boards, or structural issues is crucial to address potential safety hazards promptly. Finally, applying a protective sealant or stain every few years can help preserve the wood and enhance its durability and appearance.



**Under Deck** The structure under a deck consists of beams and joists, offering essential support and stability to the deck. These components distribute the weight of the deck and any loads placed on it, ensuring it remains safe and level. Additionally, they facilitate drainage and ventilation, preserving the deck's integrity and longevity.



**AC Page** Maintain your AC, & you'll not only save money on energy, but you'll also extend its lifespan, saving money on costly early replacement

**Name Brand** See Photo



**AC Disconnect** A simple on/off switch that cuts the power to your equipment or electrical enclosure.

**AC Data Plate** Here contains a unique model & serial number.



**Air Conditioner - Cooling Unit** Regular maintenance of your AC unit is essential to ensure it operates efficiently and reliably, especially during hot months. Basic maintenance tasks include cleaning or replacing the air filter every 1-3 months, depending on usage, to maintain good airflow and air quality. Keep the outdoor condenser unit clean and free from debris like leaves and grass clippings to optimize heat exchange. Ensure all vents and registers are unobstructed to maintain proper airflow throughout your home. Periodically check the refrigerant levels, electrical connections, and thermostat settings, and consider scheduling an annual professional inspection to address any potential issues before they become major problems. These simple steps can prolong the life of your AC unit, reduce energy costs, and keep your home comfortably cool.



**Exterior Monthly List** While we're able to control the environment (temperature, humidity, lighting) inside our homes, we have very little control over the weather buffeting our homes outside.

Here are some things to keep your eyes on throughout the seasons:

- **Roof & flashings** - Valleys
  - Where different sections meet
  - Fascia boards & soffits located right below the roof line
  - Gutters & downspouts may need cleaning or repairs
  - Exterior cladding; if it looks wrong, it probably is
  - Windows & doors: may just need a simple tuneup for functionality
  - Foundation: were looking for cracks or improper grading
  - Decks & porches
  - Sidewalks & driveways
  - Yard clean-up; has a lot to do with proper grading

Just like your annual doctor check-up, your home will need your attention seasonally to prevent small things from turning into big things!

## G

[BACK TO SUMMARY](#)


**Garage info** Built to house the car or truck. For tinkering, repairs & BONUS... you have more storage space for your stuff!



**Garage Motor • Control** Don't forget to ask the seller to leave behind the remote(s). The average lifespan of a motor is 10-12 years.

**Garage Safety Sensors** These little guys project an invisible light beam to ensure safety. Keep them aligned.



**Garage Door** Otherwise known as the "The Heavy Lifter". Your garage door is the largest moving part in your home & is used multiple times daily. It's very important that you take the time to perform regular maintenance.

Check cables, spring coils, lubricate moving parts, replace the weather gasket, replace the rollers, tighten up the hardware & ensure the pressure sensor has been adjusted for safety.

No time for a check-up? Call a garage door professional to schedule a tune-up.





**The Garage** Perhaps no other part of your home experiences as much wear & tear as your overhead garage door.

The average garage door will go up & down more than 1000 times a year. When kept in good working order, it provides convenience & security.

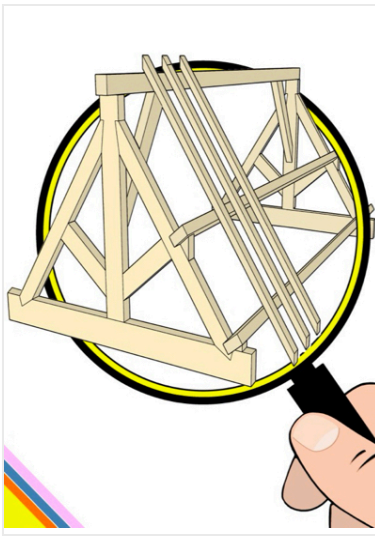
**But...a neglected door can not only become as noisy as a locomotive but also poses a significant safety risk to your family, especially your kids.** Tighten the nuts & bolts.

Because your door moves, the hardware can loosen. Inspect & tighten all roller brackets & bolts that hold the rails to the support brackets.

Lubricate the chain or the screw on your opener annually with white lithium grease. Spray-on versions are available at most home centers. Lubrication will make the opener's operation smoother & quieter & extend the life of both the chain & opener.

Inspect & maintain your garage door annually for safety & convenience sake.

## A

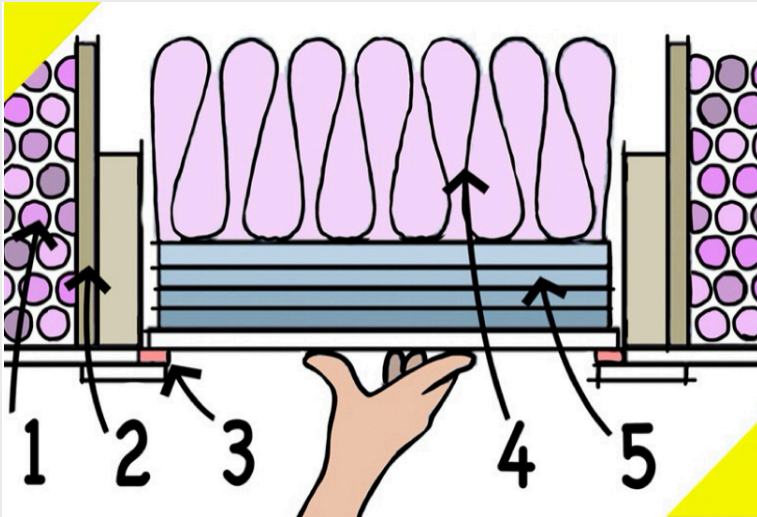
[BACK TO SUMMARY](#)


**Attic structure** Constructed to distribute the weight of the roof onto the exterior walls of the house.



**The Hatch Entry** Consider using ridged foam board insulation & match the door insulation to that of the attic space.

**Hatch Weatherstripping** Upgraded weatherstripping will help to mitigate any excess heat & moisture finding its way into the attic space.



**Hatch Diagram** Also known as the scuttle hole, the better the hatch door, the better you can control your home's climate. A proper cover consists of the following: (1) Attic Insulation, (2) Insulation Dam, (3) Air Seal Gasket, (4) Hatch insulation, (5) The Hatch Door.



**Attic Insulation** Here are the materials that resist the conductive flow of heat. "The knit hat to the home."



**Insulation Depth** There's no getting around it: If your house is in cold weather, keeping it warm in winter is expensive. Having the correct amount of attic insulation can help you maintain a comfortable temperature throughout your home & help save \$\$\$ on your energy bills. \*Plus, it could help prevent major issues like ice dams or even attic rain.

**QUICK FACTS:**

Attic insulation is the easiest & most cost-effective upgrade to a home. A properly insulated attic can save you an estimated 10-50% on your heating bill.



**Attic Structural Health** High attic humidity usually shows up as dampness, rusty fasteners, or frost on the underside of the roof sheathing.

Don't rely on ventilation alone to take care of moisture in the attic. The best protection against condensation, mildew & rot is an air-tight ceiling.

Make sure you keep that attic hatch latched for good compression between the hatch & the weatherstripping.



**Roof Sheathing** The thin boards of wood that span the trusses and support the rest of the roof



**Attic Sheathing** "Roof Sheathing" Here are the boards or sheets that bridge the trusses or rafters.



**Attic Construction Overall** Designed to support the roof with rafters or trusses.



**Attic Hatch Latch** Attic Hatch Latch The goal is to match the R-value of the hatch to the overall attic R-value. Upgrading the weather stripping & installing a latch to the hatch will help compress the gasket & improve the attic hatch seal.

**LATCH the Hatch**



**The Attic** You may never have taken the time to look inside the attic of your home, but knowing its condition can save you \$\$\$.

The access is usually in a discreet place like a closet & will require the use of a ladder or chair to climb up.

Pushing open the hatch, you'll most likely find a space that runs the length & width of your home & contains nothing more than insulation & the roof framing.

Not exactly glamorous, but it serves an essential structural purpose. IF it isn't properly maintained, it could cause you many headaches in the future.

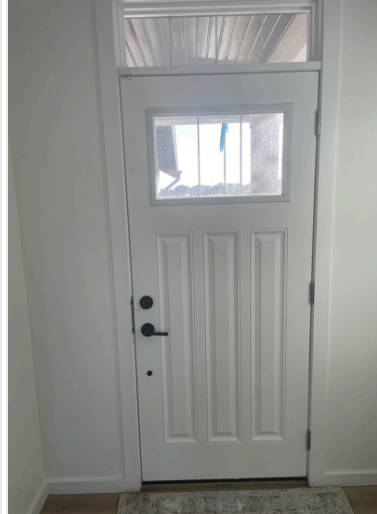
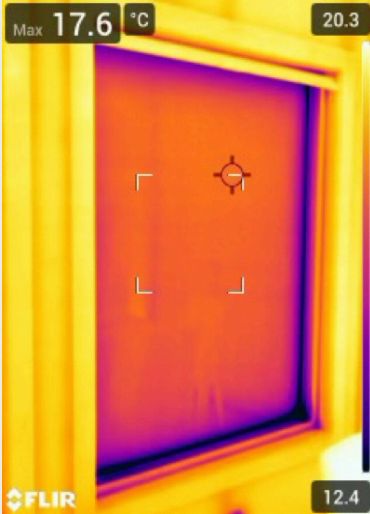
The bottom line, your attic is an essential part of your home. A toque (sock hat) in winter, an umbrella in spring, & shade in the hot summers.

# T

BACK TO SUMMARY

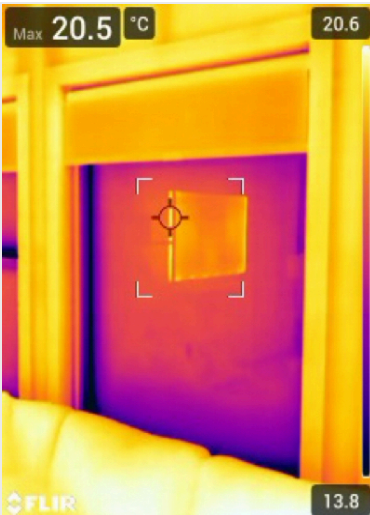


**Please remember** Minor cold spots are present in every home. Every effort was made to scan the entire structure unless obstructed.



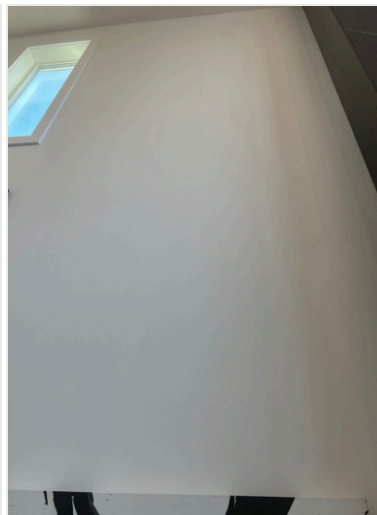
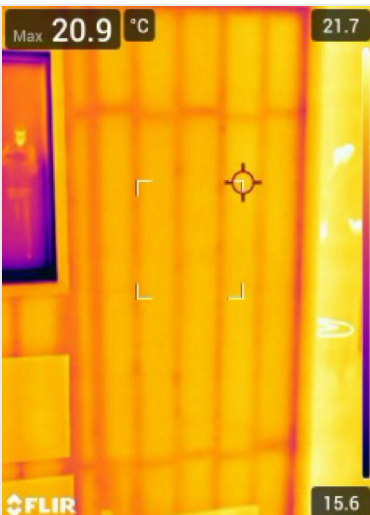
**Thermal Front Door** Scanned for irregularities, air leaks & consistency.

**Front Door** Keeping a good seal is essential to maintaining the energy efficiency of your home.



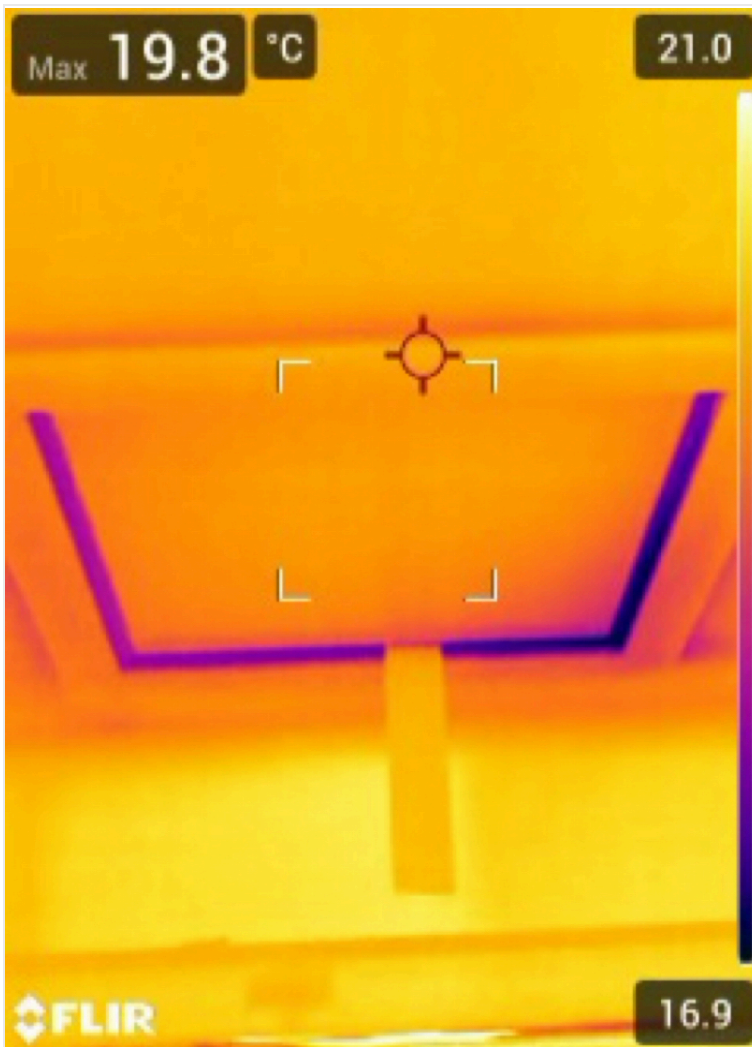
**Thermal Windows** Scanned for irregularities, air leaks & other moisture-prone areas.

**Interior Window** Opening your blinds can expose the surface of windows to circulating air which will help keep the condensation away!!

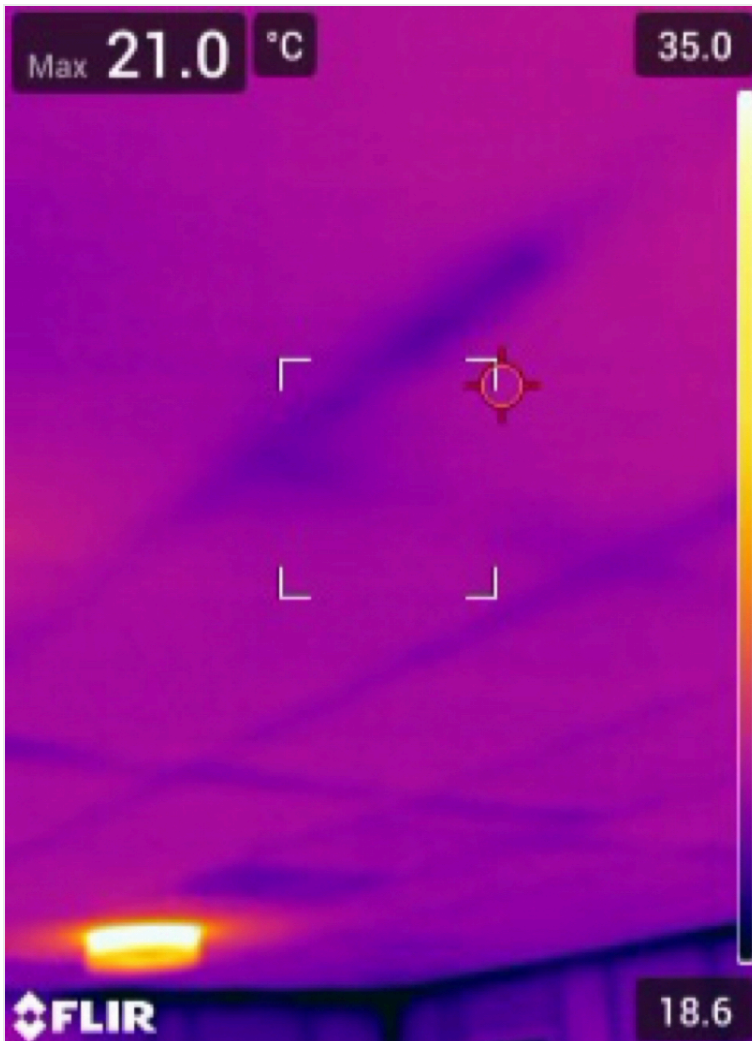


**Thermal Walls** As seen from the inside. All walls & ceilings were scanned for irregularities.

**Interior Wall** If these walls could talk. One of the best ways to see how a home has been built & maintained.



**Thermal Attic Hatch** What we're looking for throughout the entire thermal portion of this inspection: missing, damaged, or inadequate insulation, building envelope air leaks, moisture intrusion, & sometimes we can even see substandard workmanship behind the walls. This tech works really well when something is WET, or there is a strong variance in temperature, but when it's dry ( like an old water stain ) it will simply blend in with everything else.



**Thermal Ceiling** We look up, down & all around. Doors, windows, or any penetration in the skeleton of your home is where we usually find the largest temperature variance. This is why it's best to be a stickler about cleaning & replacing your weather stripping every couple of years. In the ceiling, we typically find colder areas around the utility penetrations. For example, at speakers, electrical boxes, pot lights, & more...



**Thermal Toilet** Scanned for leaks at the base, tank & shut-off valve.

**Toilet** Inspected for deficiencies using normal operating procedures.



**Hot Water Thermal** We always thoroughly run ALL plumbing fixtures & check for temperature variance.

**Hot Water Tap** Visually examined for common defects.



**Cold Water Thermal** See photo

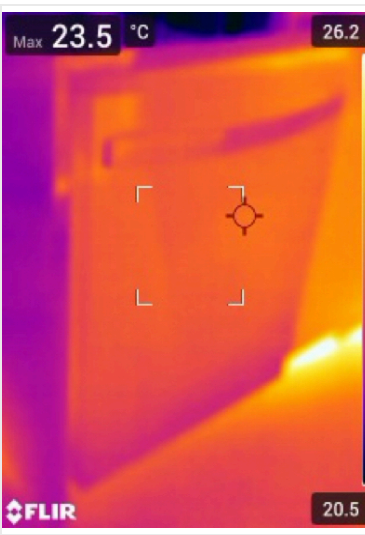
**Cold Water Tap** Inspected for deficiencies using normal operating procedures.



**Thermal P-Trap** Scanned for leaks or the presence of moisture.

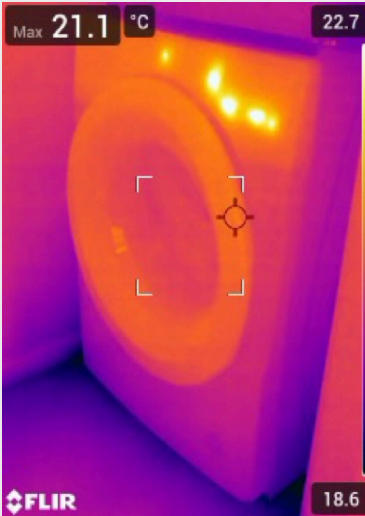
**P-Trap** Preventing smelly gases since the year 1775! These TRAP water at the "P" creating a seal.





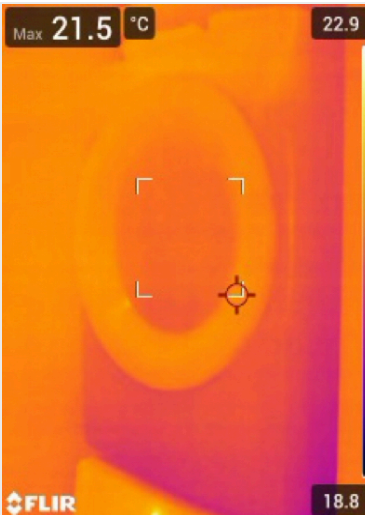
**Thermal Dishwasher** A representative # of potential leak points were thermally examined today.

**Dishwasher** See the Kitchen section for a description of this component.



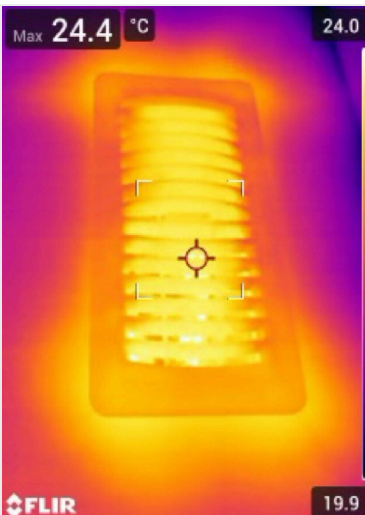
**Thermal Laundry Washer** Scanned for proof of operation & the presence of moisture.

**Laundry Washer** The most memorable days end with the dirtiest clothes!



**Thermal Laundry Dryer** Scanned to make sure it's heating up!

**Laundry Dryer** Removes moisture from a load of clothing, bedding & other textiles.

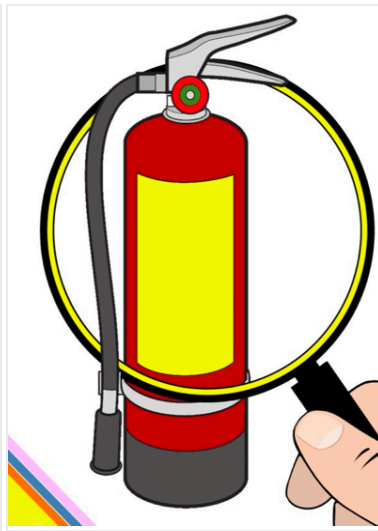


**Thermal Heat Supply** Thermal was used to inspect for temperature & to demonstrate air flow.

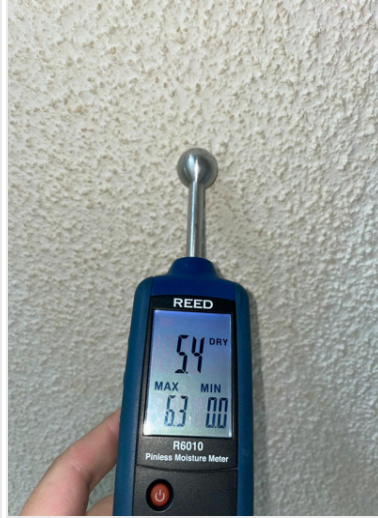
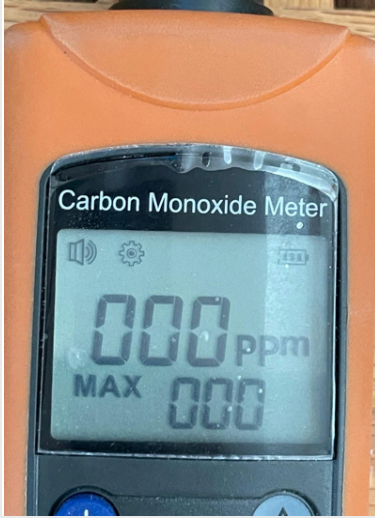
**Heat Supply** Visually examined for common defects.

## H

BACK TO SUMMARY



**Fire extinguisher** One per floor! Easy access to an extinguisher helps prevent fires & protects your home & your family.

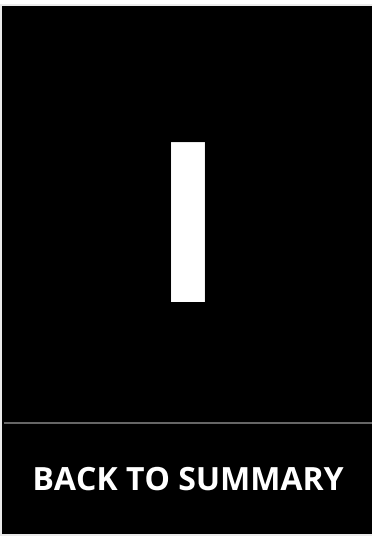


**Carbon Monoxide Test** Spot checked in suspect areas & used to detect colorless, odorless, & tasteless gas.

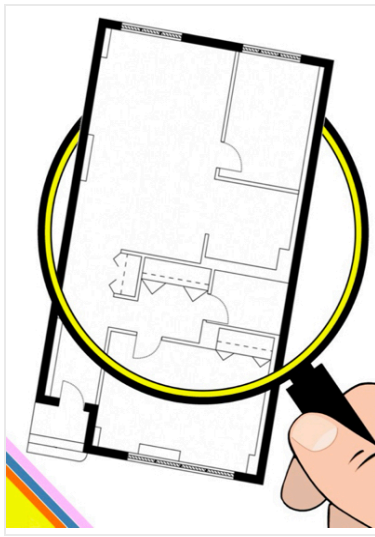
**Moisture Test** Used to measure the percentage of water in a given product. Spot checked throughout—especially the usual suspects.



○ **Smoke Detector** These detect fires by sensing small particles in the air using a couple of different kinds of technologies. Once they detect those particles above a certain threshold, they signal the alarm to sound so that you & your family can get to safety & call 911. A working smoke alarm cuts your risk of dying in a home fire in half. Missing or dead batteries cause nearly all alarm failures. For the best protection, install a combination hard-wired alarm with battery backup. If your alarms use regular batteries, swap in fresh batteries at least once a year. A “chirping” sound means that it’s time to change batteries. Ensure all smoke detectors are up to date. No Expiration Date. Further Evaluate.



BACK TO SUMMARY

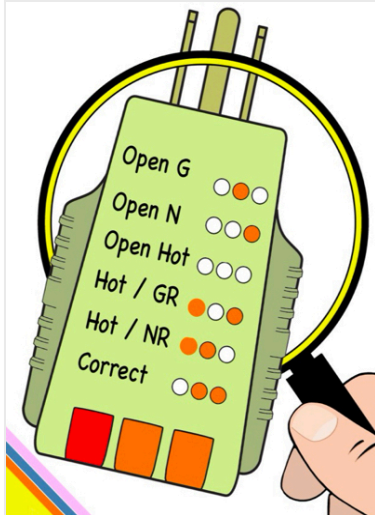


**Go green** LED lights are today's most energy-efficient & rapidly-developing technology. These bulbs last longer & are more durable.



**Switches** A select number of outlets (outlet tester) & switches were tested for function.

**Interior Lights** We disco these ON & OFF more than a few times to try to catch a problem.



**Outlets** Provide electricity after plugging in your device. Tested for faults.

**Plug Tester** Used to confirm if an outlet or plug is wired correctly.



**Door Knob** Snug up door knobs/handles, towel bars, toilet paper holders & door stops. A yearly routine will help keep it ship shape!

**Door Hinges** Don't forget about this hard-working component...Tap the pins down & snug up the screws from time to time.



**Thermostat** Charged with the regulation of the temperature. The location & placement makes a huge difference in its readings.

**Thermostat AFTER** This is just for our records showing we set it back to its original state.



**Flooring** We're not here for flooring inspections, but we keep an eye out for significant issues.

**Interior Wall** If these walls could talk. One of the best ways to see how a home has been built & maintained.



**Interior Window** Opening your blinds can expose the surface of windows to circulating air which will help keep the condensation away!!

**Open Window** A representative # of doors & windows were checked for operation & blown seals.



**Window Track** These hold the window in place. A yearly routine should be made to keep them clean & free of debris. In most homes, these are usually quite gummed up.



**Obstructions Page** Items or conditions that hinder or block access and inspection of key areas, potentially concealing defects or issues.

**Additional Obstructions**



**Additional Obstructions**

**Additional Obstructions**



**Additional Obstructions**

**Additional Obstructions**



**Additional Obstructions**

**Additional Obstructions**



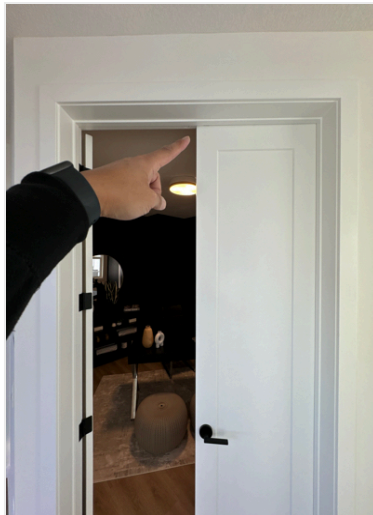
○ **Interior Door** Normal wear & tear can usually be fixed by simply adjusting the latch or hinges. Missing. Replace.

**Support Photo**



**Electric Fireplace** Ensure annual servicing to keep it looking great & functioning smoothly. This was tested and functional today.

**Support Photo**



○ **Interior Door** Normal wear & tear can usually be fixed by simply adjusting the latch or hinges. - Office right door. Rubbing / Sticking. Adjust.

**Support Photo**



**Basement Window** Please refer to local bylaws to understand the correct dimensions for egress. Basement windows were tested and functional today.

**Support Photo**



**Interior Notes** It's natural to favor the more aesthetically-pleasing properties. However, cosmetic features are often decorative & trendy extras.

Instead, base your decision on the underlying features & value of the home. This includes elements like the plumbing, the wiring & the roof.

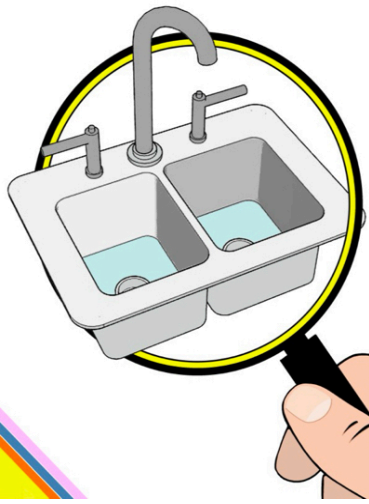
A lot of people have an unrealistic view of what the home buying process looks like— particularly if it's their first time buying a home or they have a past experience in which everything went swimmingly.

One of the biggest misconceptions is that homes on the market come in perfect condition. This sounds ridiculous when you say it out loud, but the truth is that many buyers expect pristine homes with brand-new features throughout. Hint: Unless you're building your own house, you aren't going to find an immaculate property. The reality is that every home on the market needs some work. The key is to know how much work is needed & be honest about what you're willing to take on.

"Don't just buy a home with your eyes— buy it too with your mind."

# K

[BACK TO SUMMARY](#)



## About Kitchens



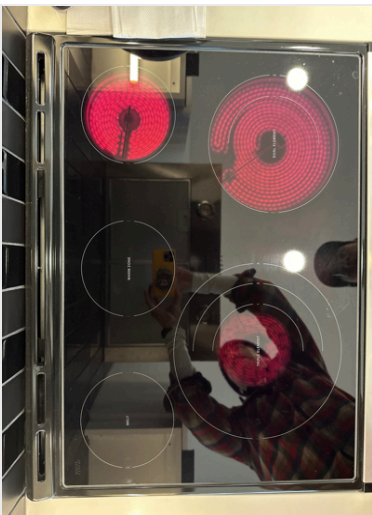
**Kitchen Cabinets** A Place for your dishes. These can usually be leveled out by adjusting the hinge screws. Don't overdo it!

**Cabinet Hinges** We recommend cabinet tune-ups for alignment & function as required. 1/4 turn at a time.



**The Fridge** ALL Appliances were tested for operation & should be rechecked for condition & function on the day of possession.

**Dishwasher** Empty your plate first! Turned ON & OFF after a quick cycle.



**Stovetop** Checked for operation. Turned ON & OFF

**The Oven** Checked for operation. Turned ON & OFF





**Stove • Oven Off** Turned ON & OFF after testing for functionality.



**Dishwasher OFF** Turned ON & OFF after cycle. We usually leave it slightly ajar to ventilate. This is really for our records.



**Microwave Nuke It!** Be sure to ask for documentation/manuals on all appliances.



**The Hood Fan - OTR** A range hood helps keep the air in your kitchen clean. These appliances come in several different models, some more effective than others. It is recommended to clean a kitchen hood system once every six months, depending on usage.



**The Kitchen Sink Sink & P-traps** inspected for leaks & "snuggness." Often times chemicals & other cleaners can break down seals, so please consider using only natural products when cleaning.



**Kitchen Drain Basket** The removable part that plugs the drain. The strainer catches large chunks to prevent clogs. The basket flange goes on the inside of the sink & the rubber gasket, pressure cup & nut are under the sink.



**Kitchen P-Trap** P-traps are part of your sink plumbing. Found under kitchen & bathroom sinks, these question-mark-shaped plumbing pieces serve an important purpose... What Does a Plumbing P-Trap Do? a. Trap debris & prevent clogs b. Protect against property losses c. Stop sewer gases from infiltrating your home All Traps were physically touched for the presence of moisture & stability.



**If you're like most people, the kitchen is one of the busiest rooms of your home.** It's probably not surprising, then, that the kitchen can also be one of the messiest.

To keep your kitchen safe, healthy, & inviting, come up with a cleaning routine that helps you tackle & prevent grime.

Putting the trash out keeps your kitchen fresh & prevents bacterial growth. Messy counters take up workspace & can be hazardous. Wash the inside of your sink & faucet every day to remove bacteria.

Sweep your floors daily & mop once a week. Toss old food, clean the seal & sanitize the fridge shelves. The dishwasher also needs love from time to time (as in, clean the filter!)

Keep a small fire extinguisher in your kitchen. Put out cooking fires before they have a chance to spread. Don't have a fire extinguisher yet? Put out kitchen grease fires by covering the container with a metal lid. This starves the fire of oxygen, so it goes out.



BACK TO SUMMARY



**Wash, rinse & repeat** The most memorable days usually end with the dirtiest clothes.



**Laundry Washer** Run for a quick cycle & turned OFF. Sometimes we leave the lid ajar to ventilate.

**Inside The Washer** Even though it's constantly washing, this will need a thorough clean every now & then.



**Laundry Dryer** Run for a quick cycle.

**Inside The Dryer** This will also need a cleaning every once in a while. Remember to change the lint filter.



**Laundry Exhaust Line** These guys sometimes become detached. Have a peek every now & then.

**Dryer Lint Trap** Lint-filled air passes through a removable wire mesh as it exits the machine to the dryer vent.

# B

[BACK TO SUMMARY](#)



**Bathroom health** Due to water, steam & grime, your space can become home to bacteria, fungus, & unwanted odors (gross but true).



**The Bathroom GFCI** This device shuts off an electric power circuit when it detects a current flowing along an unintended path.

**Toilet Paper Test** Bathroom fans should run 30 minutes after every use. Timed switches make this easy not to forget.



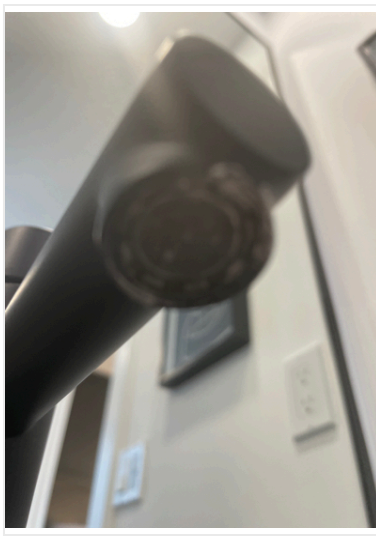
**Shower Head** Silicone & seal all valves below the shower head. This will need upkeep over the years.

**The Tub Filler** Routinely clean all nozzles & aerators. ALL water sources tested HOT & COLD



**The Tub** All lavatory components were operated & visually inspected for leaks, caulk depletion & other visual defects. Unsecure / Missing Sealant. Improve / Secure.

**The Hair Catcher** When hair accumulates in your lines, it can create nasty clumps that slow your drains down drastically.



**Bathroom Faucet(s)** Faucets, tub fillers & shower heads were fully tested & run for a significant amount of time.

○ **Faucet Aerator** These create a non-splashing stream, delivering a mixture of water & air. CLR, to prevent build-up. Calcified. Maintenance Required.



**Sink Drain(s)** Inspected for deficiencies using normal operating procedures.

**Bathroom P-Trap** Built to keep the gases from entering back into your home. Examined for leaks & lightly touched for snugness.



## Loose Toilet



○ **Toilet** Ensuite toilet loose - recommend replacing the wax seal and properly securing. Unstable. Improve.

**Loose Toilet** Securing a loose toilet is important to prevent accidents, water damage, and maintain a safe and functional bathroom.



**Toilet Tank** Otherwise known as The Back Rest. How Often Should You Clean Your Toilet Tank? Shoot for twice a year to avoid mildew, rust, & grime & to prevent a buildup of minerals that can damage the parts.



**Best Seat In The House** Even before indoor plumbing folks understood that outhouses needed ventilation.

When bathrooms moved indoors, ventilation was required not just to remove odors but also to exhaust excess moisture.

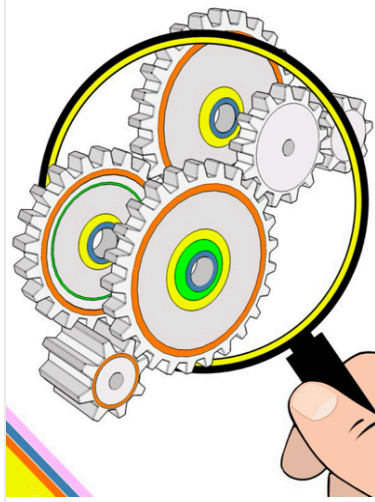
We all know how much moisture can be produced by taking a hot shower, just think about the fogged mirrors & the condensation that forms on windows & walls, especially when it's cold outside. Bath fans are sized according to the volume of air they can move, measured in cubic feet per minute, or cfm. The rule of thumb is that you need 1 cfm for every square foot of floor area in the room.

It's smart to err on the high side, especially in a bathroom that gets heavy use or one with a high ceiling. Better fans are engineered to run quieter than low-priced versions.

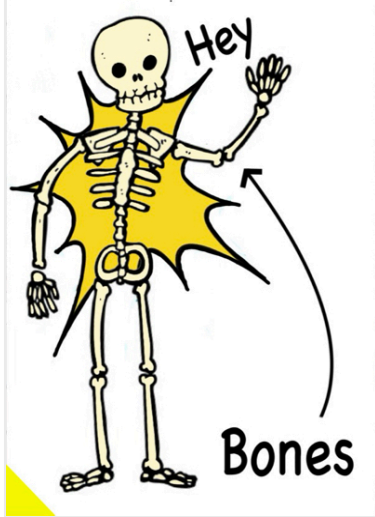
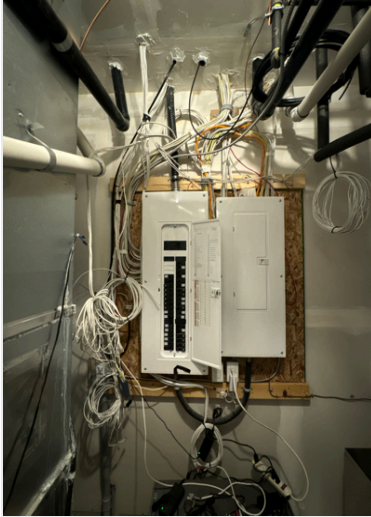
Finally, don't forget: Bathroom fans should be left running for at least 20 minutes after each shower. This will ensure that all of the humidity is cleared out of both the room & the ventilation ductwork.

# M

BACK TO SUMMARY

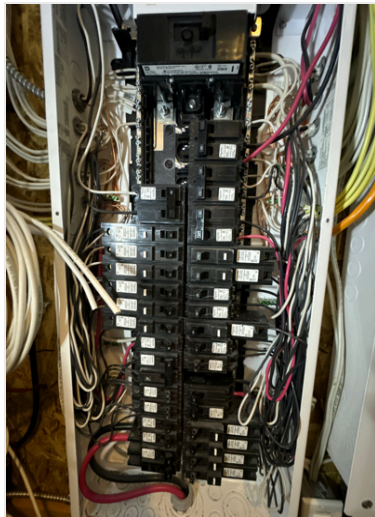


**Mechanical info** The Engine Bay. This room is dedicated to critical mechanical features that run your entire home.



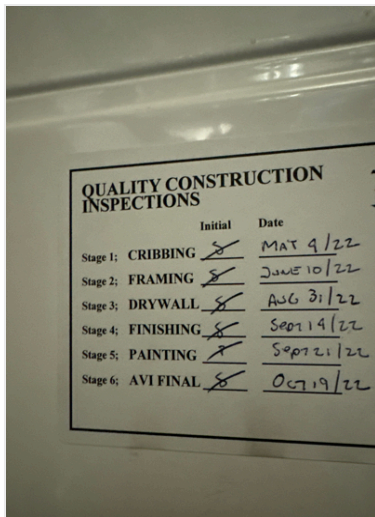
○ **FYI Panel Clearance** requires a clear area for access & work that is (30") wide, (36") deep, & (78") high. Depending on where you live. Obstructed. Improve.

**Electrical Safety** Main & sub panel boxes should always be secured & worked on by certified tradespeople.



**Electrical Panel** The electrical panel typically consists of a main breaker, circuit breakers and bus bars

**Inside - Electrical Panel** PLEASE, never remove the panel cover to access the breaker. Leave this to the pros.



**The Main Breaker** Generally, this will shut down everything! Designed to interrupt a large amperage load.

**Labels & Stickers** See Photo.





○ **What does a water meter do?** Water meters are essential in conserving water & saving money on your water utility statement. A water meter is a mechanical device connected to your water connection & only registers consumption when water is used. There are no electric components inside a water meter. Meters are usually installed just above the main water shutoff valve in the home & most water meters have a transmitter that is remotely read for billing purposes. Not Installed. Further Evaluate.



**The Water Main Shutoff** Nobody is expecting you to fix plumbing problems, but the ball is largely in your court to prevent problems. The main water shutoff valve allows you to shut off the water supply in your home. You may want to do this in several situations, such as: 1. In a plumbing emergency 2. When you are upgrading components of the water system in your home. 3. You will be spending an extended period away.



**Exterior Water Shutoff Valve** These should be turned off & bled in the winter months to prevent potential problems in the spring.

**The Water Lines** Main visible water lines that could actually be seen throughout the inspection.



**The Sewer Line** We're usually very limited on what we can see here besides showing you the material. Unknown Location. Request Disclosure.

**Main Drain** Usually only 1 per home. New or old, we always recommend having the sewer scoped to look for things like obstructions & more...



**The Hot Water Unit** Life expectancy of a water heater is about 8-12 years from new.

**Hot Water Data Plate** This usually contains model & serial #. It also contains the birth date & other important info.



**Hot Water Unit Thermostat** This is essentially a temperature-activated regulating switch.

**TPR** Temperature-Pressure Relief Valve. Designed to auto-release water if pressure or temp in the water tank exceeds safe levels.



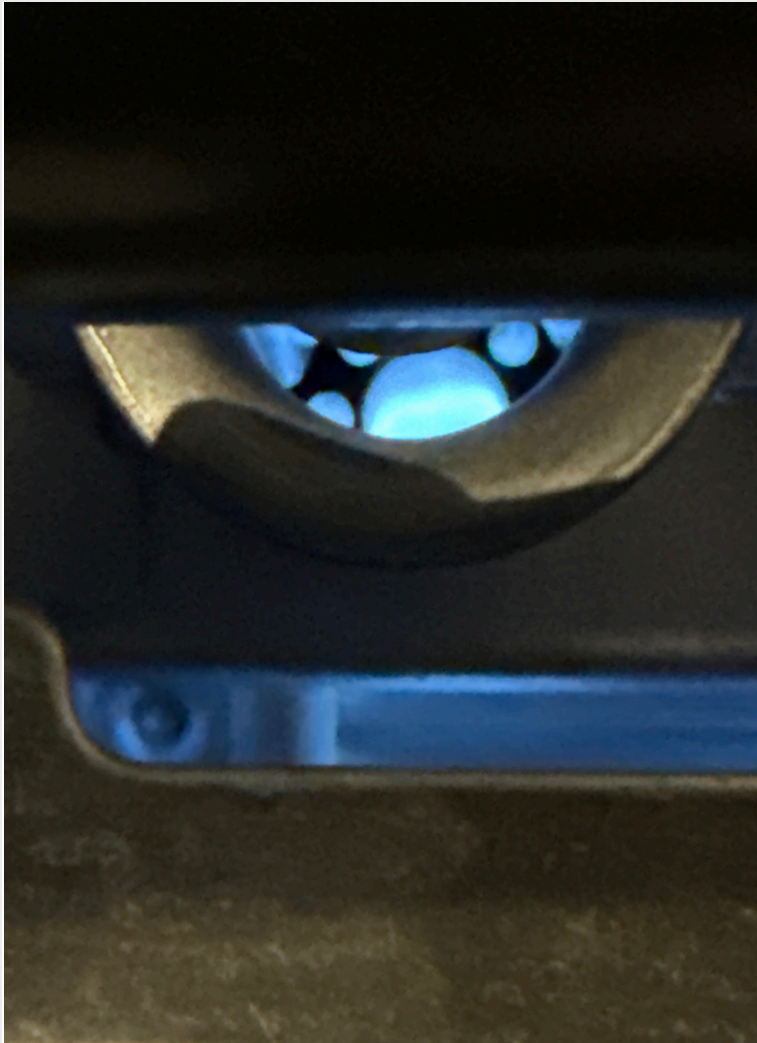
**Gas Supply Shutoff** Here for safety or when doing repairs.

**Heating Unit Filter** Change filters upon possession, then once every three months. We prefer the cheap filters!

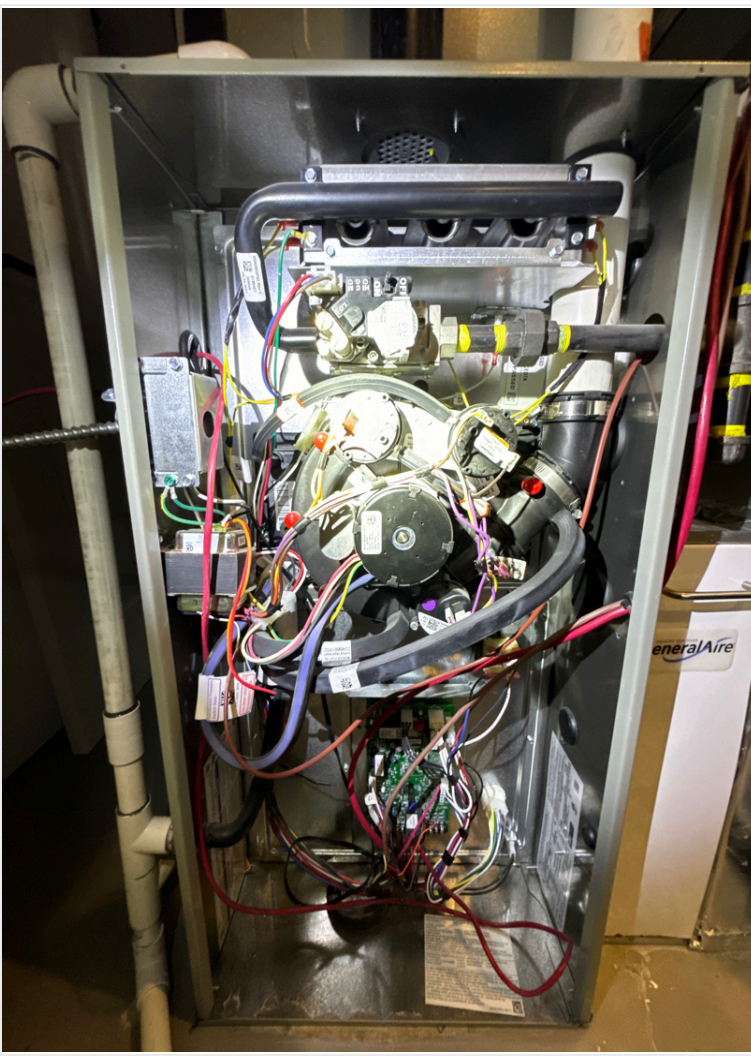


**Main Heating Unit** Run for the majority of this inspection. A thorough clean & precision tune-up is always recommended.

**Heating Unit Data Plate** A small metal or sticker plate that provides key information about a home's heating system.

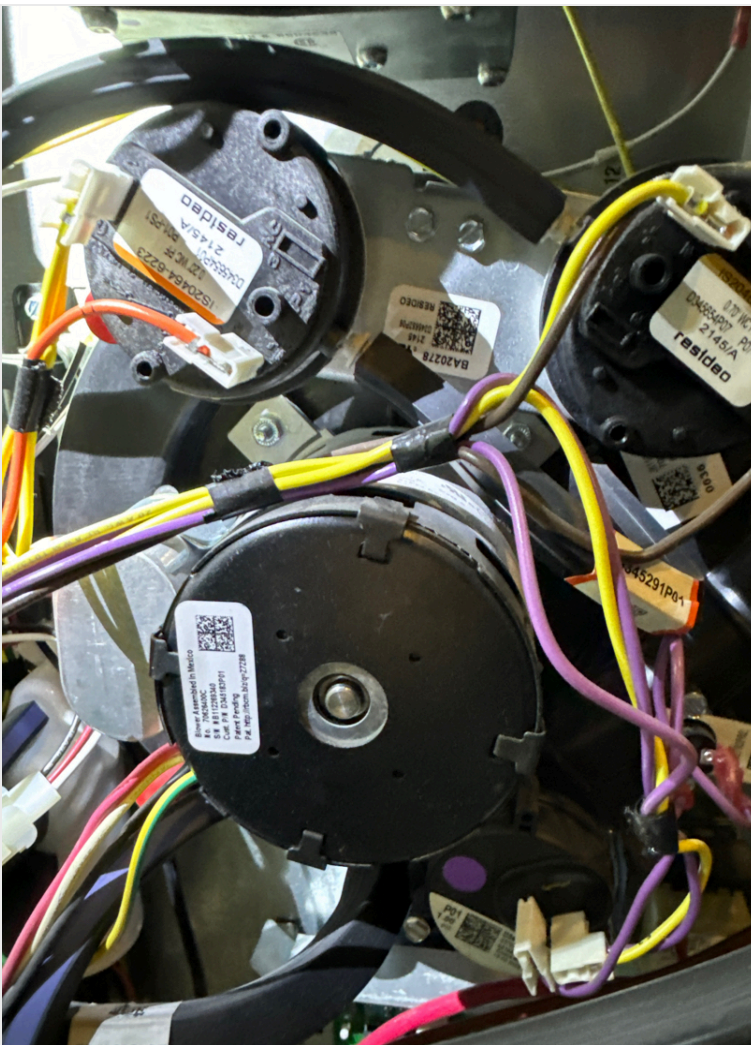


**Heating Unit Flame** Why Does a Blue Flame Indicate More Complete Combustion? If you remember the Bunsen burner days of your science education, you may recall how different flame colors result from varying amounts of oxygen. By increasing the oxygen supply, you get higher temperatures, less soot, & more complete combustion. When the flame does not receive enough oxygen, you can see the flame color change to a red, orange, or yellow color.



**Inside Heat Source** Under the Hood. Regular HVAC maintenance reduces the risk of costly breakdowns by as much as 95%.

You wouldn't drive your car for 30,000 miles without getting an oil change; you'd be asking for trouble. This analogy holds for true for all HVAC systems.



**The Blower** Fans use electricity to circulate air heated by the heat source through a home's duct system into the living space. The fan also circulates cooled air during the cooling season for homes with central air conditioning. A professional should clean the blower assembly on your heat source at least yearly. Cleaning the blower assembly is critical because the openings on this type of unit tend to become clogged with dust & dirt.

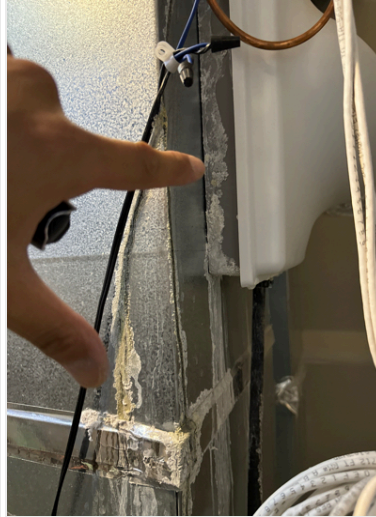


# COVER



**Heating Unit Shutoff** Used to disconnect the power. Required as a "disconnecting means" within sight of the unit.

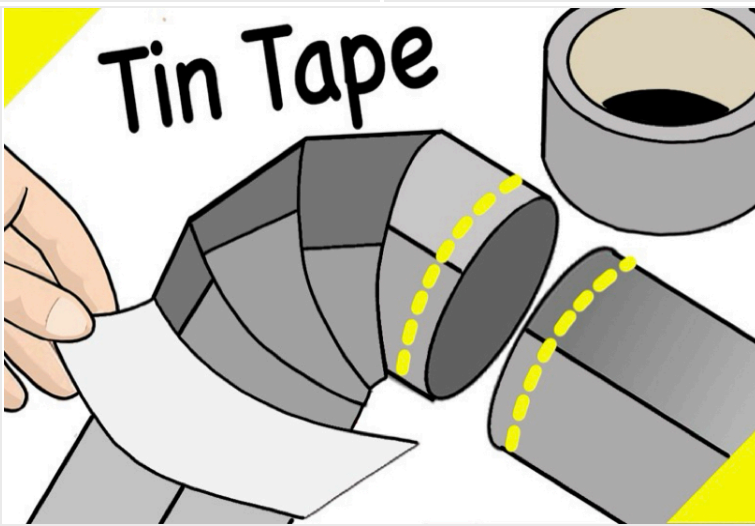
**Heating Unit Shutoff Cover** A cover plate is recommended. Why? Because it will prevent people from turning these off by accident.



**The Humidifier** Humidifier filters should be changed or cleaned every six months. Sometimes you can get away with just cleaning them.

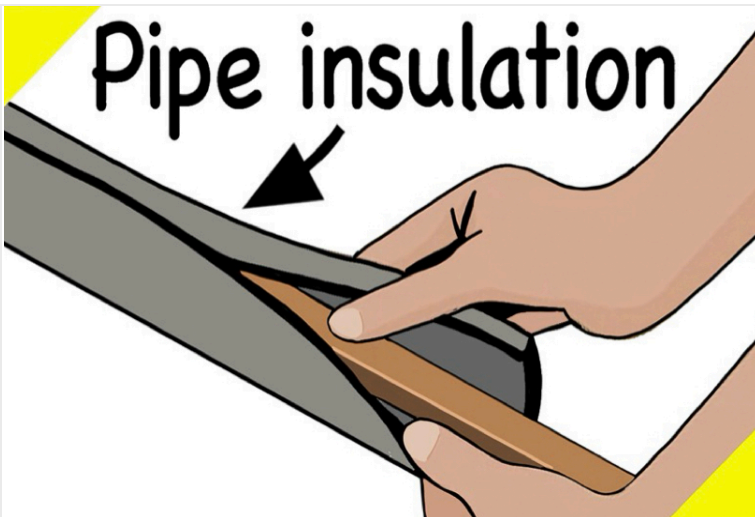
○ **Benefits of A Humidifier** Moisture-loving houseplants may become more vibrant, & wood floors or furniture may last longer. Waterline shut off. Not tested. Evidence of Leak. Repair or Replace.

# Tin Tape



**Tin Tape** This tape is pretty tough, so it can be used in a range of temp settings-HOT or COLD. This kind of tape is commonly used to secure seams, connections, & joints of ducts, allowing air to get to where it's gotta get to more efficiently.

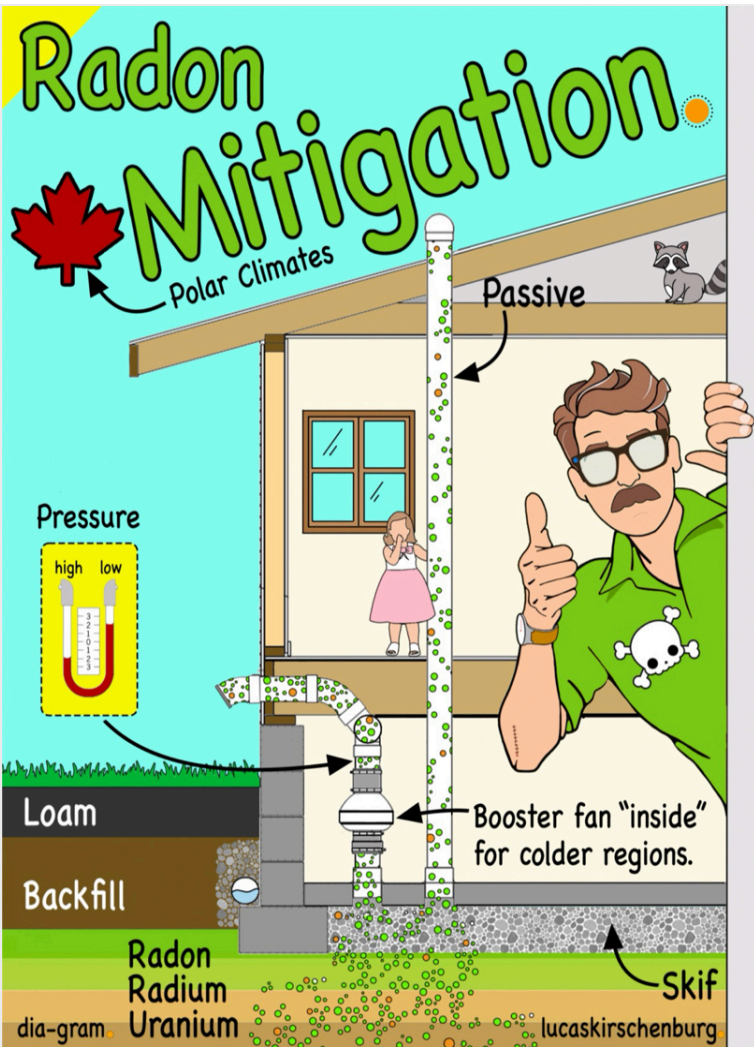
# Pipe insulation



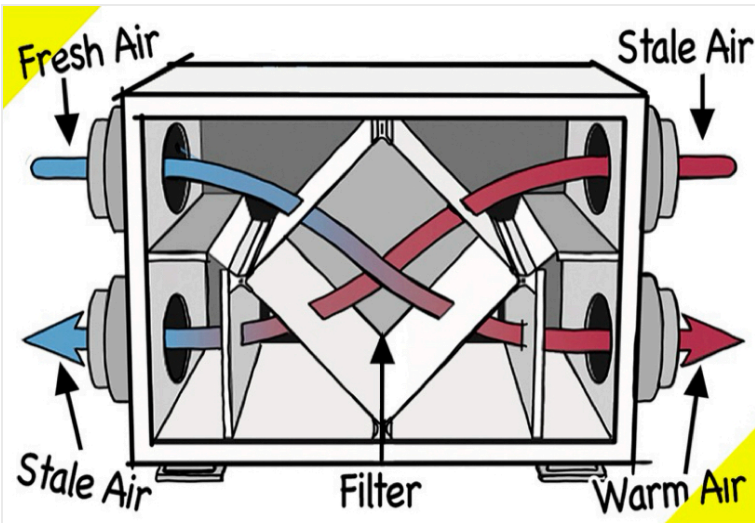
**Pipe Insulation Tip** Overall, adding insulation to your pipes reduces the risk of freezing, reducing the need for expensive repairs. In the end, your house is safer, a loss of hot water does not inconvenience you, & repair fees do not suddenly cut your budget.



**Radon Rough-In** This consists of a porous layer & a barrier beneath the slab & radon piping that extends from below the slab.



**Radon Polar Climate**



**HRV** Heat Recovery Ventilators exchanges indoor and outdoor air, using heat from outgoing air to warm incoming fresh air, optimizing energy use and improving indoor air quality. Excellent at reducing heating costs and preventing moisture buildup.



**HRV Data Plate** This usually contains model & serial #. It also contains the birth date & other important info.



**Heat Recovery Ventilation** Also known as mechanical ventilation, heat recovery is an energy recovery ventilation system that works between two sources at different temperatures. Heat recovery is a method that is used to reduce the heating & cooling demands of a home.



**HRV Filter** When any machine has its normal operation hampered, it will reduce its efficiency & ability to function properly. Many of us are probably guilty of forgetting about the basic maintenance of some of the mechanical equipment in our homes. Keeping your HRV (heat recovery ventilator) clean would be a good thing to keep high on the priority list. Examined for functionality & cleanliness. Dirty. Improve.



**Mechanical** When it comes to your mechanical room, it's not only maintenance & cleaning the unit itself you must keep in mind. Where your mechanicals are located, what's nearby, & how to move around, these all matter too.

Keeping your furnace room clean & safe should be a priority. If your furnace room doubles as a storage room, you absolutely have to make sure no cardboard boxes or plastic containers lean flush against the furnace.

Make sure a path is clear for your technician come maintenance day. That way, if maintenance & repairs need to be made, your technician can do them easily.

Used filters or old furnace parts, depending on their state, they could also be fire hazards & space wasters. As far as spacing goes, you should allow for at least 2 feet of clearance around your furnace.

Finally, make sure the manual for your furnace is within reach in the room where it's hosted. That way, if something is wrong, you'll be able to identify it more easily.



the

# playbook

Gathering what you need,  
discarding what you don't.

Hit the thumb print to find tactics  
or methods to form your own  
game plan.

There you'll find tips & tricks on  
maintenance, recalls, cleaning,  
preparing your home for sale,  
dealing with difficult neighbours  
& more.

Twenty20 & Co.



# the insurance

## Overview

Build Year

2020's

Outdoor Temperature

Approx +5°C / 41°F

Direction Home Faces

North

Vacancy

Vacant

Furnished

Staged

## Roof

Inspection Limitations

Visibility / Height

Approximate Age

Brand New

Roof Material

Asphalt Shingle

Gutter Material

Aluminum

Fascia Material

Metal

Soffit Material

Metal

## Exterior

Inspection Limitations

Visibility

Driveway / Walkway

Concrete

Window Glaze

Double Pane

Flashings

Present

Exterior Cladding

Concrete-Composite Board or Like

Electrical Entry

Overhead

Cooling Type(s)

Air Conditioning

Gas Main Location

Exterior Side Yard

## Garage

Inspection Limitations

Visibility/Sellers Belongings

Motor Brand

See photo

HVAC Type

n/a

# the insurance

## Attic

Inspection Limitations  
Sheathing Material  
Approx. R-Value  
Type of Insulation

Visibility  
OSB  
R-30+  
Cellulose or Like

## Thermal

Inspection Limitations

n/a

## Health & Safety

Inspection Limitations  
Safety Features Present

Visibility  
Smoke & Carbon Monoxide Detectors

## Interior

Inspection Limitations  
Thermostat Location  
Flooring Materials  
Wall Materials  
Fireplace Fuel Type(s)

Visibility/Mostly Covered-Sellers Belongings  
Main Floor  
Hardwood  
Drywall  
Natural Gas

## Kitchen

Inspection Limitations  
GFCIs

Visibility/Stored Items  
Present

## Laundromat

Inspection Limitations

Visibility

## Bathroom

Inspection Limitations  
GFCIs

Visibility/Stored Items/Access  
Present

# the insurance

## Mechanical

Inspection Limitations

Main Amp

Wiring Material

System Ground

AFCI Breakers

Electrical Bonding

Heating Type(s)

Water Supply Source

Sewer Material(s)

Backwater Valve

Main Drain

Water Line Material

Hot Water Fuel

Heating Fuel

Water Main Location

Main Electrical Location

Sump Pump

Waste Lift Station

+ Heat Source

Visibility

200 AMP

Copper

Undetermined

Present

Undetermined

Gas Furnace- Consider precision tune up

Public

ABS

Undetermined- Check Listing Details

Present

PEX or Like

Natural Gas

Natural Gas

Mechanical Room

Mechanical Room

Present

Not Present

n/a

## Structure

Inspection Limitations

Foundation Type

Structure Type

Roof Structure

Walls Structure

Visibility/Sellers Belongings-Stored Items

Concrete

Engineered & Dimensional

Truss

2x6 Studs

# 72 seconds

Positive reviews from awesome customers like you help others to feel confident about choosing twenty20 & our “to the point” reporting methodology.

We’d so appreciate if you could take 72 seconds to click on our logo below and share your happy experience.

*Thanks in advance*

