the details

268 Snowberry Circle

Generated on October 8, 2024 at 9:19PM MDT

October 8, 2024

"Every little thing matters. The devil is in the details."

the summary

what you need to make an informed decision

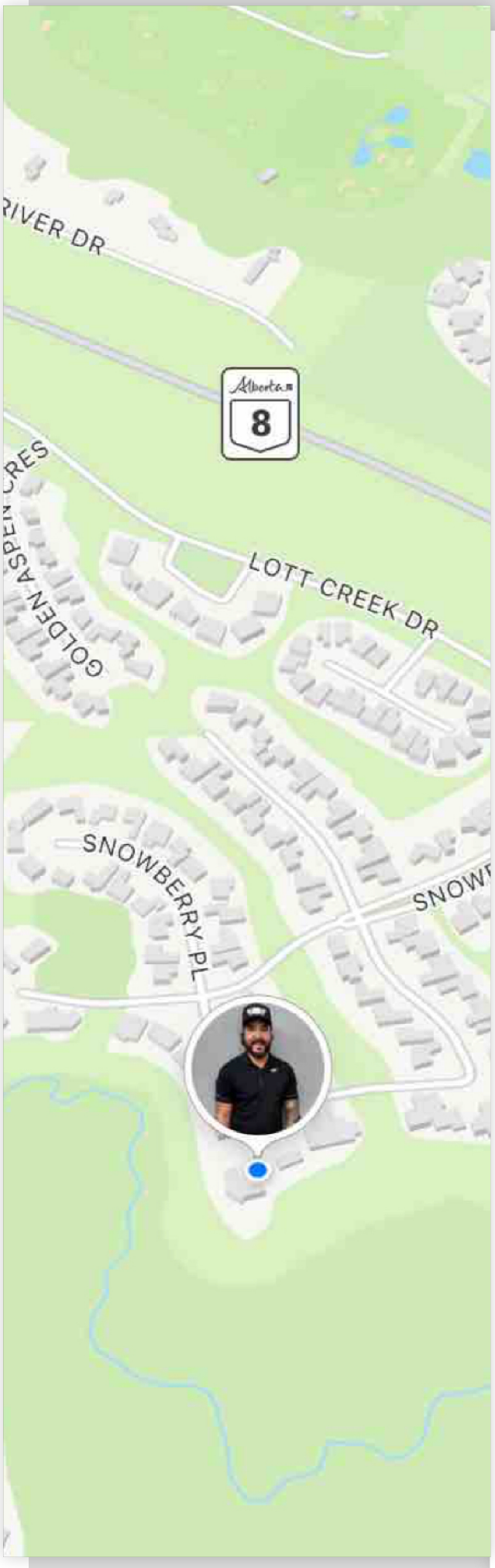
the insurance

stuff you'll need for your insurance policy

inspectagram™

the

elements



October 8, 2024

268 Snowberry Circle
Rural Rocky View County, Alberta

Detached

Overcast

Agent & Client

Jordan Tanaka

Chris Bartole
313 38 Avenue SW
chris_bartole@hotmail.com
4038748484

Barry Klatt

9:00 AM Start Time

the method

From the disciplined approach of gathering information & curating, to the mixture of photos & clear narratives. The Method was founded on pure construction experience.

Designed to CONNECT you with the information to help make an informed decision & built to do one thing really well:

Drive the point home.

"Tell the story, share the knowledge & inspire action"

the contents

Thank You	5
Disclaimer Stuff.	6
Icons & Legends	7
The Summary	8
ROOF	**11**
DRONE	**15**
EXTERIOR	**22**
GARAGE	**37**
ATTIC	**45**
THERMAL	**52**
HEALTH & SAFETY	**70**
INTERIOR	**74**
KITCHEN	**86**
LAUNDROMAT	**95**
BATHROOM	**100**
MECHANICAL	**113**
The Playbook	135
The Insurance	136
72 Seconds	139
The Agreement	140

thank you

Thanks for choosing us for your home inspection. We appreciate your confidence in us & it was my pleasure to serve you today.

I will be your primary contact & I will do anything I can to make sure you are fully clear on my findings today.

Please feel free to contact us if you have any questions of if you need further information. We will gladly answer any questions.

Kind Regards,

Jordan Tanaka

Jordan Tanaka
4036067828
reachme@2020mhi.com

72 Seconds

disclaimer stuff.

A home inspection is kind of like an annual check-up at the doctor. It's used to make sure things are working properly & it can be useful in spotting things that might eventually become a problem

Some people actually think we come equipped with a crystal ball, a flux capacitor or even X-Ray vision! Unfortunately, we can't go into the past, go "Back to the Future" or, like Superman, see through walls.

Disclaimers are boring so I won't get into that but please understand we can only visually inspect what we see today. Every house is different just like every customer has different expectations of what a home inspection should be. However, we know some people like to read the report in its entirety. Attached we provided you with a full copy of our Standards of Practice & Disclaimers.

If you are reading this then obviously the details matter to you. You'd make a great home inspector.

icons & legends

It's a snap! Here are some key terms you'll see throughout.

Iconography

Sometimes we use icons or example images when it provides a more effective representation.

Immediate Attention

There's some real urgency on the fix.

Attention

Heads up! This may need to be fixed very soon.

Not Inspected

Limits out of our control & or outside of our SOP's

Hand Gestures

Non-verbal communication in a photo that packs a punch.

Issue: Identify the problem if there is one

Action: Recommended path to address the issue

L: Location where it is found

T: Typical Tradesperson

R: Reason why it wasn't inspected

$ / $$ / $$$

Merely a rough guide of overall cost.

summary

ROOF

- **Roof Flashing/Cladding:** Issue: Lifting/Missing
  Action: Repair
  Notes: NE side of home.

DRONE

- **Inside Gutter:** Issue: Debris Filled
  Action: Service Advised
- **Tree Branches:** Issue: Overgrowth
  Action: Service Advised

EXTERIOR

- **Front Steps:** Issue: Void
  Action: Backfill
  Notes: These voids were noted in a number of areas (back steps, AC pad).
- **Stonework:** Issue: Deterioration
  Action: Maintenance Required
  Notes: Masonry requires upkeep in a number of areas. Regular maintenance and check-ups are important for ensuring optimal performance.
- **Guest House Exhaust Vent:** Issue: Obstructed
  Action: Further Evaluate, Clear

summary

ATTIC

- **Guest House Attic Ducts/Vents:** Issue: Staining
  Action: Improve
  Notes: Secure & seal at roof penetrations.

THERMAL

- **Thermal In-Floor Heat:** Issue: No Function, Multiple Zones
  Action: Request Info/Further Eval
  Notes: Upper spare/kids ensuite, entry/mudroom (finicky thermostat), basement games room & basement media room (could not locate thermostats). Service system as required.

INTERIOR

- **Window Pane:** Issue: Cracked
  Action: Repair or Replace
  Notes: Dining room, above side door.
- **Natural Fireplace:** Issue: Wood Burning
  Action: Further Evaluate
  Notes: Ensure a WETT certified inspection is performed prior to use of wood burning fireplace for safety & insurance purposes.
- **Office Gas Fireplace:** Issue: No Function
  Action: Further Evaluate/Service

summary

KITCHEN

- **Basement Bar Sink P-Trap:** Issue: Active Leak
  Action: Repair or Replace
  Notes: Not properly addressing this leak could lead to moisture damage.

BATHROOM

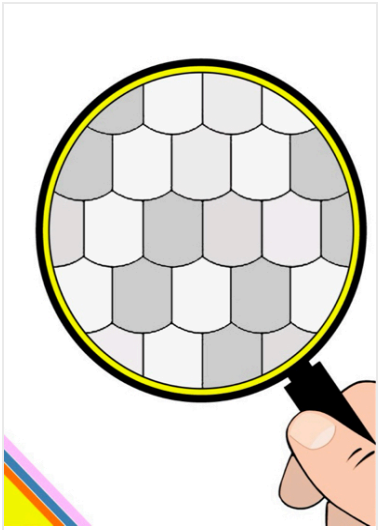
- **Steam Thermostat:** Issue: No Function
  Action: Request Info/Further Eval

MECHANICAL

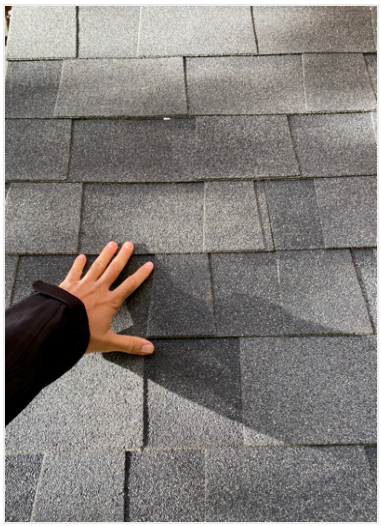
- **Hydraulic Separator:** Issue: Leaking Fitting
  Action: Maintenance Required
- **Hydronics Air Relief Valve:** Issue: Leaking
  Action: Maintenance Required
- **Hot Water Storage Tank:** Issue: Age (~18 years)
  Action: Budget for replacement
- **The Main Furnace Blower:** Issue: Rattling
  Action: Service Advised
  Notes: This highlights the importance of regular servicing.
- **Rodent Sign & Traps:** Issue: Health & Safety
  Action: Further Evaluate
  Notes: Mainly noted in mech room off theatre room.
- **Guest House HRV Filter/Unit:** Issue: Dirty
  Action: Service Advised

R

BACK TO SUMMARY

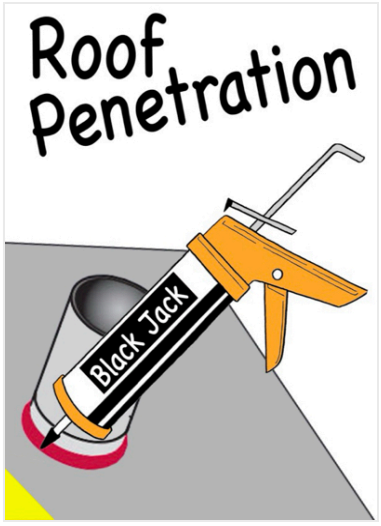


Why do roofs leak? High winds, hail, snow, ice & deterioration, or defects in the material. Yearly maintenance will aid in leak avoidance.



The Roof Surface This is the outermost layer on the roof charged with providing shelter from the natural elements.

Roof Observations Examined for continuity of material & coverage.



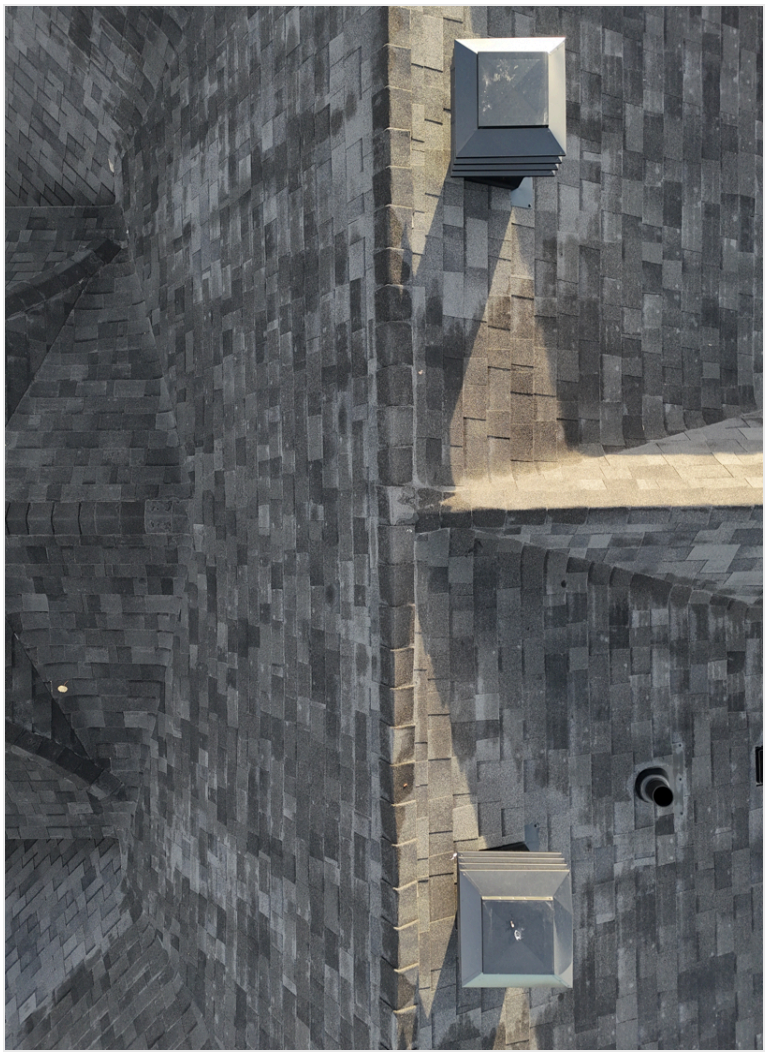
Roof Utility Penetrations Used in roof assemblies to allow outside air to enter or exit. Such as vents, stacks, flues & others. Perform annual inspections.

Roof Sealant Boots & flashings may need replacement & general upkeep over the years.

Inside Gutter Regular cleaning of trough/scupper should be part of your yearly maintenance schedule.

Soffit Keep clean & free of debris like vegetation. A very important facet of the home!

Roof Disclaimer Stuff Minor deterioration or defects in the roofing material are considered to be functional damage. We can not see through the Shingle or membrane to the sheathing & therefore can not be inspected for evidence of leaks. The remaining roof life is approx only & does not preclude the possibility of leakage. Leakage can develop at any time & may depend on rain intensity, wind direction, ice buildup & other factors. Chimney/flue interiors that are not readily accessible are not inspected & could require repair. The roof inspection may be limited by access, condition, weather, or safety concerns.



Roof Management The key is leak avoidance. Find & correct defects before they leak by setting up a yearly roof maintenance program with a certified local roofer. It's recommended to schedule a roof tune-up & as part of a regular maintenance schedule every 1-2 yrs. & after significant storm events.

- **Roof Flashing/Cladding** Usually a thin metal material that is installed to direct water away from critical areas. Lifting/Missing. Repair.

Support Photo Section of missing cladding/flashing. Improve.

Stuff About Roofs Like anything else which is exposed to the harsh elements of nature, roof shingles wear down over time and, while durable, they are certainly not immune to damage from excessive precipitation, falling limbs, & improper installation procedures. Factory warranties for asphalt shingles usually range from 15 to 30 years, but those warranties only cover factory defects & premature aging. So, property owners should be advised to have their shingle roof inspected about every 5 years, as well as right after any severe weather event affecting their area, especially if they suspect possible damage from hail, falling limbs, or heavy winds. Maintaining your roof is necessary to protect your home & everyone that lives there. Dealing with roof issues is frustrating & time-consuming. Stay ahead of any problems with preventative roof maintenance. Roof maintenance is time-saving, eco-friendly, increases your house's curb appeal, gives you peace of mind & saves you money in the long run by extending the life of your roof.

D

BACK TO SUMMARY

Drone Information Allows us to enhance the collection of inspection data while removing slower manual steps that place us in danger.

The View From Above The roof of a home can account for up to 40% of the home's exterior. From curb appeal to home safety, it's important to keep the home looking sharp & (more importantly) dry. Make sure you look up every once in a while for anything out of the norm.

Roof Utility Penetrations Used in roof assemblies to allow outside air to enter or exit. Such as vents, stacks, flues & others. These should all be inspected yearly for deterioration & re-sealed as needed.

Inside Gutter Responsible for channeling water flow from your roof through the downspouts & direct it to appropriate areas. Regular cleaning of trough/scupper should be part of your yearly maintenance schedule. Debris Filled. Service Advised.

Roof Front View See Photo.

Roof Side View Assessed for structural deficiencies

Roof Side View For your records.

Roof Back View See Photo.

Chimney The cavity through the house that's meant for fireplaces, ducts, exhaust flues. Consider also rain caps & ember arrestors on flues. Cracking Concrete Cap. Improve.

B-Vent Exhaust A natural drafting system that uses a special pipe to carry combustion gases out of your home.

Faux Chimney Old St. Nick isn't getting through this one.

Support Photo Or this one.

Roof Skylights These should be checked yearly (e.g., flashings, sealant & for other damage).

Support Photo

Low Slope Roof Roofs are considered low-slope roofs up to 3:12 pitch. Monitor for pooling & debris.

Multiple Peaks Converge Monitor for snow/ice & debris build up here. Possible Catch Point.

Roofing Debris For your records. Lets get this cleaned up! Noted at front NW corner of home. Catch Point. Have Cleaned Off.

Tree Branches Lets get these trimmed back. Overgrowth. Service Advised.

Roof Downspout Discharge We recommend extending the downspouts into the gutters to help prevent against early deterioration of roof material. Improve.

Support Photo

Guest House Roof Looking for coverage, the material & damage.

Support Photo Guest House roof close up.

Guest House Roof Vent Used in roof assemblies to provide a means of allowing outside air to enter & exit.

Tree Branches Lets get this trimmed back. Overgrowth.

Bird's Eye View Most people call them drones. Technically, they're UAVs (unmanned aerial vehicles) or sUAS (small unmanned aircraft systems). No matter what you call them, these flying cameras & sensor holders have rapidly become valuable industrial inspection tools. Drone-based inspections help us improve efficiency & data quality while increasing safety & speed of operation.

The roof of your building can be easy to ignore... until suddenly it's not. Small damage from weathering & aging, as well as less subtle threats like storms, can slowly eat away at the performance & stability of your roof until one day you wake up in need of emergency repairs & end up stuck with a far larger bill than you ever expected.

The solution? Regular, thorough roof inspections conducted by a professional using a drone. From reducing man-hours to ensuring more comprehensive analysis, drones have revolutionized the way property owners & contractors alike think about roof assessment.

E

BACK TO SUMMARY

Door info Intended to protect us from intruders & the elements. Clean gaskets & replace parts as necessary. Who else has a key? Re-key?

Front Entry Keeping a good seal is essential to maintaining your home's energy efficiency.

Back Entry A well-installed & maintained door will save $$$ on heating & cooling costs.

Focal Window It can be a real "Pane" replacing windows. Maintenance is the key to longevity.

Basement Entry Please refer to local bylaws to understand the correct dimensions for egress.

Exterior Outlet Weatherproof outlet covers are preferred. Tested for functionality. NO GFCI. Service Advised.

Exterior Faucet Ensure to properly winterize in the colder months. Turned on & OFF.

The Eyes of a Home A window allows the passage of light, sound, & air. Modern windows are usually glazed or covered in some other transparent material. Many glazed windows may be opened to allow ventilation or closed to exclude inclement weather. Visually scanned (From the ground) for defects like blown seals & deterioration. We also re-examine from the inside when testing the operation.

The Exterior Skin Much like plants, people, or other living things, the skin of a building is that surface that interacts with the world at large. The skin (cladding) is responsible for protecting the contents, much like our skin protects us. It also makes a statement to our neighbors about the home inside. INFO: This home is comprised of several layers, ie: the wall's outer surface, vapor barrier, insulation, & more... The entire perimeter of the home should be closely monitored for change or damage. Examined for visual defects. Plan to establish a bi-yearly maintenance routine.

The Vents Dirty intake/exhaust vents could impede their ability to function.

Vent Protection & Efficiency Seal around penetrations, clean lint/debris, remove obstructions & trim back vegetation seasonally.

Exterior Penetrations Fill & maintain all utility penetrations leading in or out of the home to prevent moisture intrusion.

Flashings These prevent water from entering penetrations in the cladding, like a window or door.

Electrical Entry Point How electricity makes its way into the home—either overhead power lines or underground

The Electrical Meter Electricity goes through the meter to the main panel & onto the outlets.

Open and close gas meter It's just good to know how to operate this in the case of an emergency. This is where they shut it down if you miss a bill.

The Gas Meter If you ever smell gas, call your local supplier to have it further assessed & keep a wrench handy to shut it down.

Perimeter Grading Management of water drainage is paramount! Water should ALWAYS drain away from the foundation.

Grading Uneven land prevents proper water drainage, & during rainfall, water can flow towards the home rather than away. Negative Slopage. Improve.

Downspouts Keep downspouts down & ejecting a minimum of 4' from the foundation.

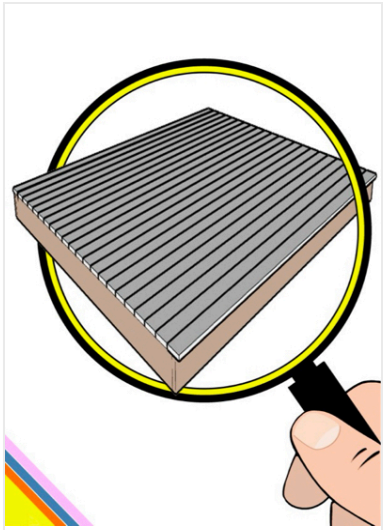
Pathway Material It's all about first impressions! Keep clear of tripping hazards & debris.

Exterior Cladding Here is the primary protective layer between your home & the external elements.

Parging Coat The semi-protective/cosmetic mortar applied to the foundation is known for two things... it's usually grey & cracks. Detaching. Improve.

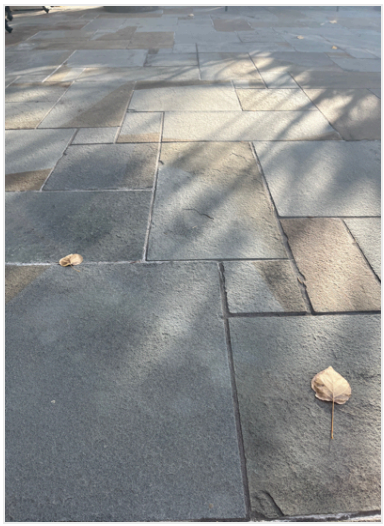
Foundation Stuff As you know, most of the foundation is impossible to see. We walk around the perimeter to see what catches our eye.

About Cracks If two dimes can fit into the crack, get it checked by a structural engineer. Minor fractures can be repaired with a mastic.



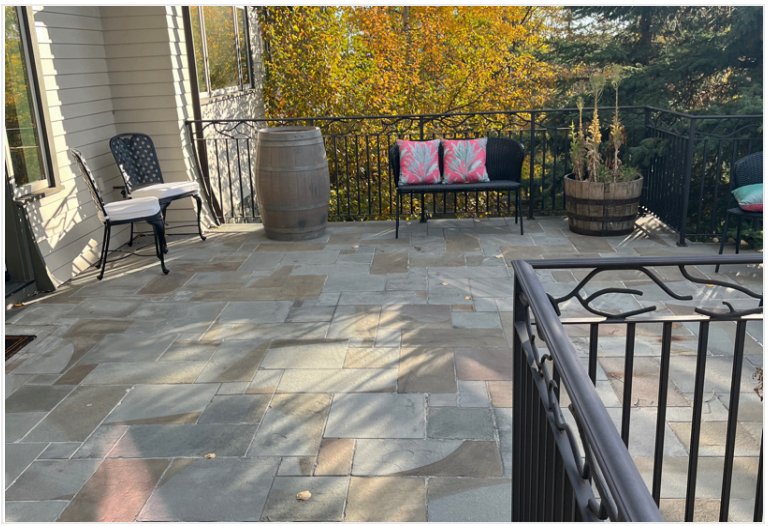
Deck Page Typically made of wood or composite materials, this is place to kick back and relax during the warmer months.

Deck Railing One of those things you don't think about until you really need it!



Decking Material Up Close Visually examined for common defects.

Deck Flashing The barrier to prevent moisture from entering the house in the openings at the ledger board connection. Not Accessible. Not Inspected



Over-all Deck Proper deck maintenance involves regular cleaning to remove dirt, debris, and mold to prevent surface damage and improve safety. Inspecting the structure for loose fasteners, damaged boards, or structural issues is crucial to address potential safety hazards promptly. Finally, applying a protective sealant or stain every few years can help preserve the wood and enhance its durability and appearance.

Under Deck The structure under a deck consists of beams and joists, offering essential support and stability to the deck. These components distribute the weight of the deck and any loads placed on it, ensuring it remains safe and level. Additionally, they facilitate drainage and ventilation, preserving the deck's integrity and longevity.

Air Conditioner - Cooling Unit AC filters, coils, & fins require reg maintenance for the unit to function effectively throughout the years. Shutoffs pictured in back

AC Data Plate Here contains a unique model & serial number. Manufactured 2022.

Air Conditioner - Cooling Unit AC filters, coils, & fins require reg maintenance for the unit to function effectively throughout the years.

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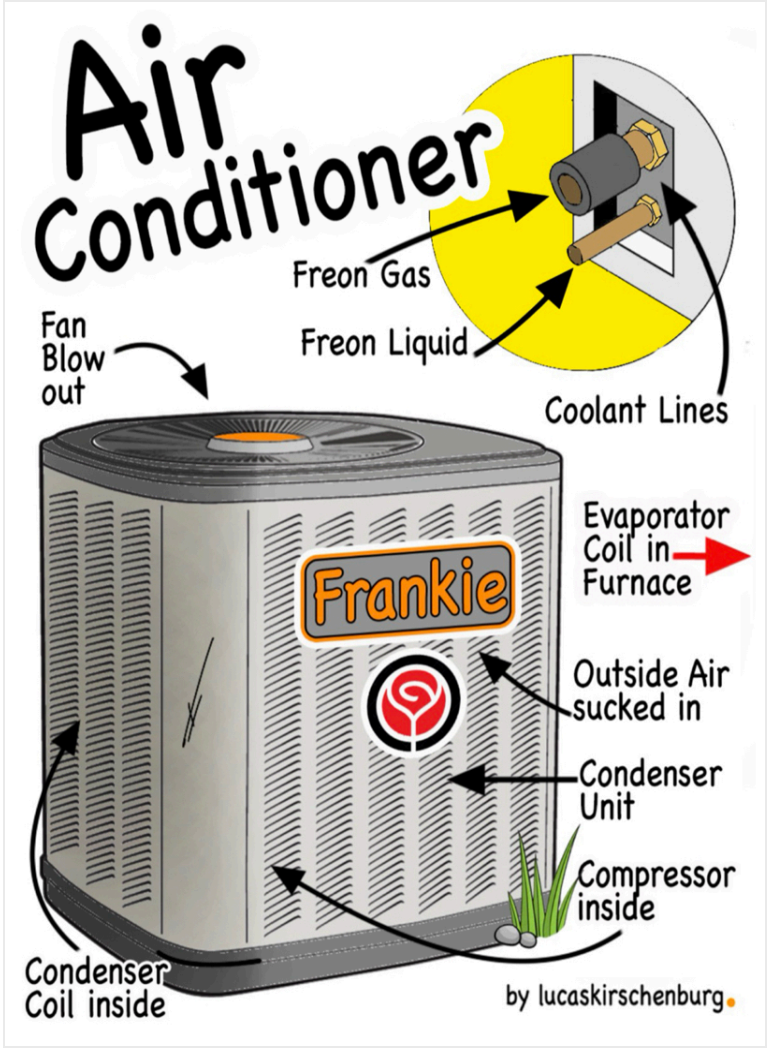


Air Conditioner A device that cools and dehumidifies indoor air to maintain a comfortable environment. It works by circulating a refrigerant through a cycle of evaporation and condensation. Inside the unit, warm indoor air passes over cold, refrigerant-filled coils, cooling the air and condensing moisture. The refrigerant absorbs the heat and is pumped outside where it releases the heat to the outside air, then cycles back to repeat the process.

Exterior Fireplace Built for those cold nights, designed to keep ya cozy! Wood burning. Schedule WETT inspection .

Support Photo With gas assist. Not tested

Exterior Light Be sure to use the correct wattage, keep them clean, & secure. Flickering. Further Evaluate.

Support Photo

Front Steps For your records. Deterioration. Improve.

Support Photo

Front Steps Moisture, debris, and pest intrusion likely. Void. Backfill.

Support Photo These traps were noted throughout property

Downspout For your records Damage. Repair or Replace.

Support Photo Close this gap to prevent debris buildup and clog

Back Steps Assessed for structural deficiencies Safety Issue. Install Handrail.

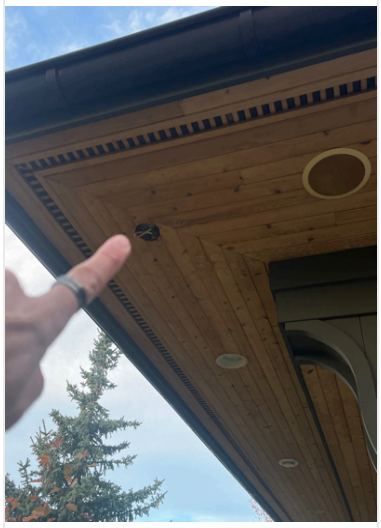
Support Photo Some steps deteriorating. Possible slip/fall risk. Repair/replace

Wood Siding Visually examined for common defects / For your records. Wood siding requires regular maintenance to preserve its appearance and struc Unsecured. Secure.

Support Photo

Flatwork Flat systems such as a concrete slab, sidewalks, patios, asphalt drives & parking lots. Cracking. Maintenance Required.

Support Photo



Light Fixture Visually examined for common defects. Missing Components. Replace.

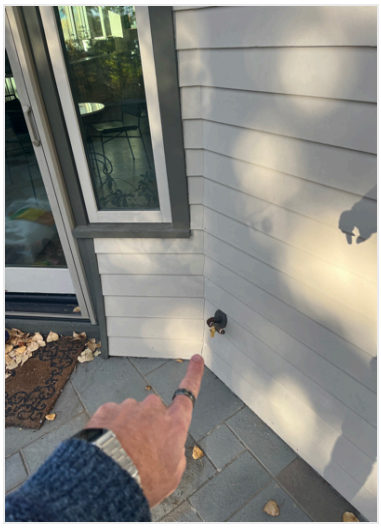
Support Photo Glass pane not in place

Wood Siding Visually examined for common defects / For your records. Wood siding requires regular maintenance to preserve its appearance and struc Minor Wood Rot. Improve.

Support Photo

Back Steps Assessed for structural deficiencies Deteriorating. Maintenance Required.

Support Photo Void noted



Bbq Gas Line The line connecting a gas appliance to the main supply.

Irrigation Shutoff/Control How you shut'r down :).

A/C Base Void. Fill and Seal.

Support Photo

Brick Walkway For your records. Settlement. Maintenance Required.

Support Photo

Stonework For your records. Deterioration. Maintenance Required.

Support Photo

Bird Nest We all love birds but let's encourage them to settle their nest in the trees. Evidence of Pest(s). Remove as Desired.

Support Photo

Guest House Exterior Page Where the guests can stay in privacy.

Exterior Outlet Weatherproof outlet covers are preferred. Tested for functionality.

Suite Entry Visually examined for common defects.

Focal Window Examining the flange, fasteners, envelope & more.

Exterior Cladding Here is the primary protective layer between your home & the external elements.

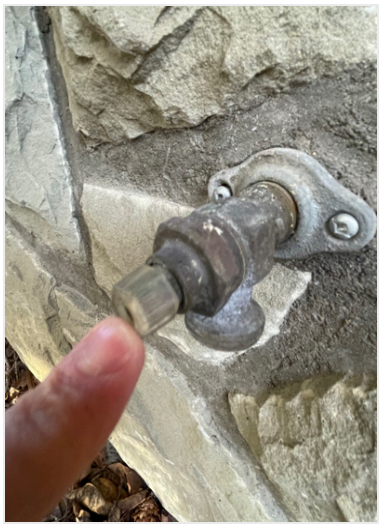
- **Utility Penetrations** Generally used to exhaust, intake & alleviate pressure build up. Missing Sealant. Improve.

- **Foundation Stuff** Visually examined for common defects. Exposed Spray Foam. Improve.

Exterior Hose Bib The outdoor faucet used for connecting hoses to access water for tasks like gardening or cleaning.

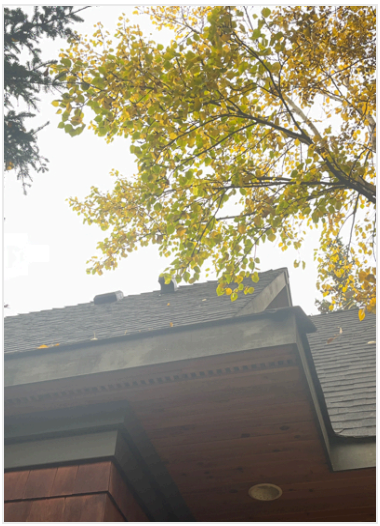
Exterior Lighting A well lit home is a safe home. Missing Components. Replace.

Support Photo



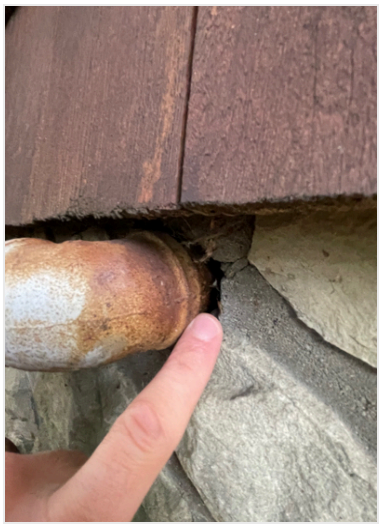
Exterior Hose Bib The outdoor faucet used for connecting hoses to access water for tasks like gardening or cleaning. Missing Handle. Replace.

Support Photo



Vegetation Leaves were found in guest house HRV. Trimming this tree back will help prevent clogs and keeping unit running smoothly Overgrowth. Trim Back.

Support Photo



Exterior Penetration This should be sealed off to prevent moisture intrusion. Potential Leak Point. Seal.

Support Photo

Wood Siding Visually examined for common defects / For your records. Wood siding requires regular maintenance to preserve its appearance and struc Damaged. Repair or Replace.

Support Photo

Downspout For your records Leak Point. Improve.

Support Photo Poor Drainage Area

Guest House Exhaust Vent Access points to the ducts running through the home, allowing the free flow of air to & from your HVAC system. Obstructed. Further Evaluate, Clear.

Support Photo

Stonework For your records. Crack(s). Improve.

Support Photo

Siding Here is the primary protective layer between your home & the external elements. Exposed Foam Board. Improve.

Support Photo

Exterior Lighting A well lit home is a safe home. Damage. Repair or Replace.

Support Photo

Downspout For your records Poor Drainage. Maintenance Required.

Support Photo Settlement

Exterior Monthly List While we're able to control the environment (temperature, humidity, lighting) inside our homes, we have very little control over the weather buffeting our homes outside.

Here are some things to keep your eyes on throughout the seasons:

- Roof & flashings
- Valleys
- Where different sections meet
- Facia boards & soffits located right below the roof line
- Gutters & downspouts may need cleaning or repairs
- Exterior cladding; if it looks wrong, it probably is
- Windows & doors: may just need a simple tuneup for functionality
- Foundation: were looking for cracks or improper grading
- Decks & porches
- Sidewalks & driveways
- Yard clean-up; has a lot to do with proper grading

Just like your annual doctor check-up, your home will need your attention seasonally to prevent small things from turning into big things!

G

BACK TO SUMMARY

Garage info Built to house the car or truck. For tinkering, repairs & BONUS... you have more storage space for your stuff!

Garage Motor • Control Don't forget to ask the seller to leave behind the remote(s). The average lifespan of a motor is 10-12 years.

Garage Safety Sensors These little guys project an invisible light beam to ensure safety. Keep them aligned.

Garage Door Otherwise known as the "The Heavy Lifter". Your garage door is the largest moving part in your home & is used multiple times daily. It's very important that you take the time to perform regular maintenance.

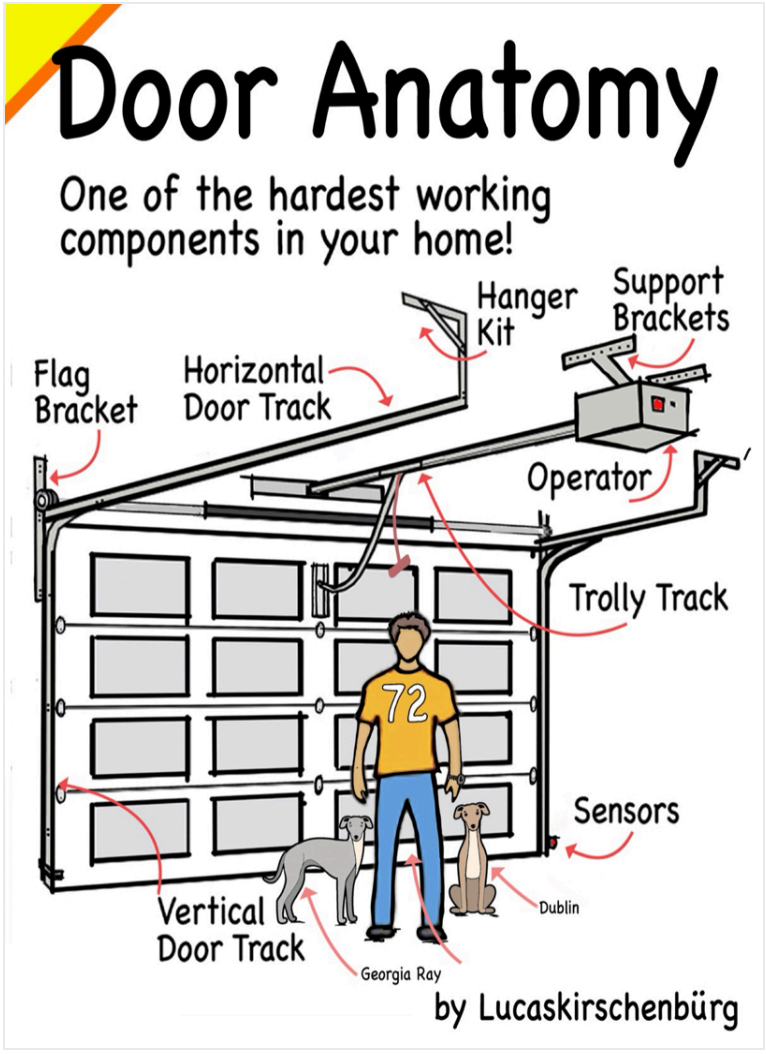
Check cables, spring coils, lubricate moving parts, replace the weather gasket, replace the rollers, tighten up the hardware & ensure the pressure sensor has been adjusted for safety.

No time for a check-up? Call a garage door professional to schedule a tune-up.

Garage Floor Visually inspected for cracking, de-lamination, honeycombing & other common issues. Keep'er clean & free of debris. Minor Epoxy Deterioration. Monitor/Maintain.

Garage Spring Every Six Months: A little spritz to the torsion springs will aid in lifting & extend the lifespan of the spring itself.

You don't need to lubricate the tracks, but ensuring they're clean is essential to your door's functionality.



Garage Maintenance Learning how to maintain a residential garage door is key to operating it efficiently. A malfunction can prevent you from taking your car out of the garage when you want to. Regular maintenance twice a year can make such mishaps less likely. INFO: Visually inspect the door, perform safety tests, examine hardware for defects, service the chain or belt, service seals & springs, clean the garage door surface, replace batteries & bulbs, & Reduce friction between the door & the stop. Adjust the opening & closing speed.

Garage Door Exterior View Visually inspected overall for damage, & other general wear.

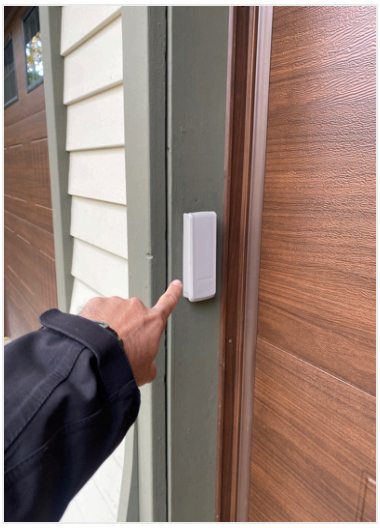
Support Photo

Door Casing The surrounding trim of a door. Minor Weathering. Monitor & Maintain.

Support Photo

Driveway The mini road to your garage! Crack(s). Monitor/Improve.

Support Photo Exposed aggregate should be re-sealed every 2-3yrs with an acrylic resin or like.



Garage Keypad Digital door control. Get the code or documentation on how to re-program these. Request Disclosure.

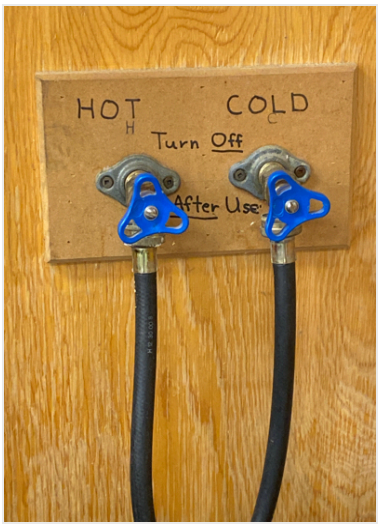
Support Photo

Garage Man Door Adjust spring-loaded hinges for proper function (CO hazard). Not self closing. Improve.

Support Photo

Light Switch Turns it on & turns it off. We test what we see for functionality. Missing Faceplate. Install.

Irrigation Control System (Usually) automatically adjusts watering based on local weather conditions. Outside our SOP's. Not Inspected



High Ampeage Receptacle Outside our SOP's. Not Inspected

Garage Hose Bib Good for cleaning up a dirty garage! Don't forget to bleed & turn off in the winter months.

Water Softener Responsible for removing calcium & magnesium ions from hard water & replaces them with sodium ions. Other half of system in mech room.

Garage Window These seem to be the primary way in for intruders. Video? Bars? Add some protection. Usually due to condensation. Staining. Monitor.

Sellers Possessions Observed. Please remember we can't see through walls or peoples belongings. Obstructing Inspection. Further Evaluate.

Support Photo

Guest House Garage

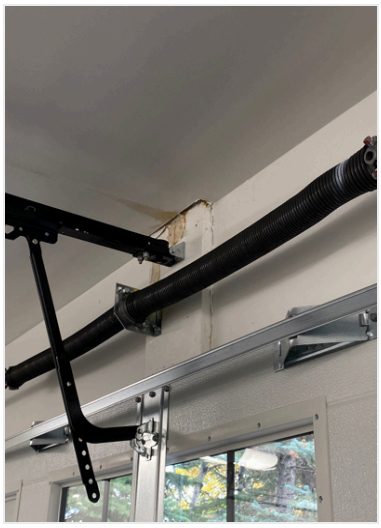
Garage Page This versatile garage offers ample space for parking, storage, and projects, catering to a variety of needs.

Garage Door Exterior View Visually inspected overall for damage, & other general wear.

Garage Door One of the hardest working components in your home. Keeper clean & greased.

Garage Door Opener Don't forget to ask the seller to leave behind the remote(s). The average lifespan of a motor is 10-12 years.

Garage Lasers Designed to prevent accidents caused by automatic garage doors.



Door Spring Responsible for helping the door raise & lower.

Garage door pull When you pull the emergency release cord, you disengage the garage door from the automatic opener.

Suite Garage Window These seem to be the primary way in for intruders. Video? Bars? Add some protection. Missing/Damaged Latch. Repair or Replace.

Support Photo

The Garage Perhaps no other part of your home experiences as much wear & tear as your overhead garage door.

The average garage door will go up & down more than 1000 times a year. When kept in good working order, it provides convenience & security.

But...a neglected door can not only become as noisy as a locomotive but also poses a significant safety risk to your family, especially your kids. Tighten the nuts & bolts.

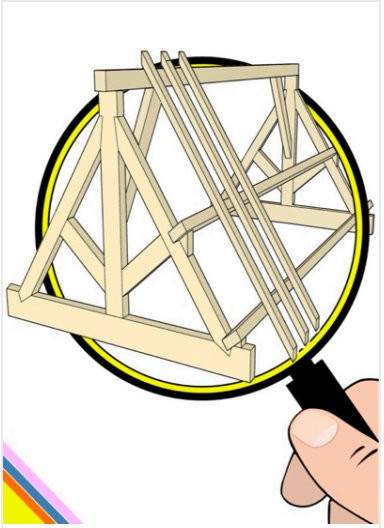
Because your door moves, the hardware can loosen. Inspect & tighten all roller brackets & bolts that hold the rails to the support brackets.

Lubricate the chain or the screw on your opener annually with white lithium grease. Spray-on versions are available at most home centers. Lubrication will make the opener's operation smoother & quieter & extend the life of both the chain & opener.

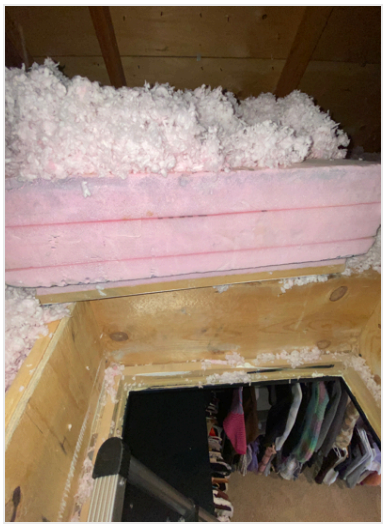
Inspect & maintain your garage door annually for safety & convenience sake.

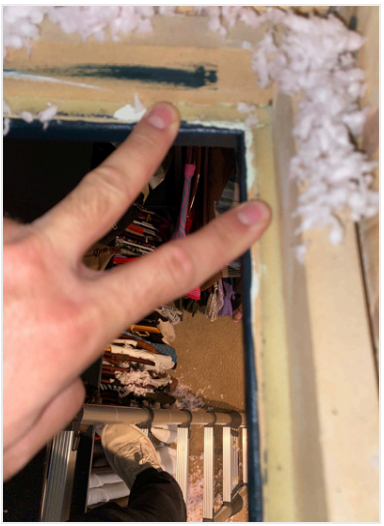
A

BACK TO SUMMARY



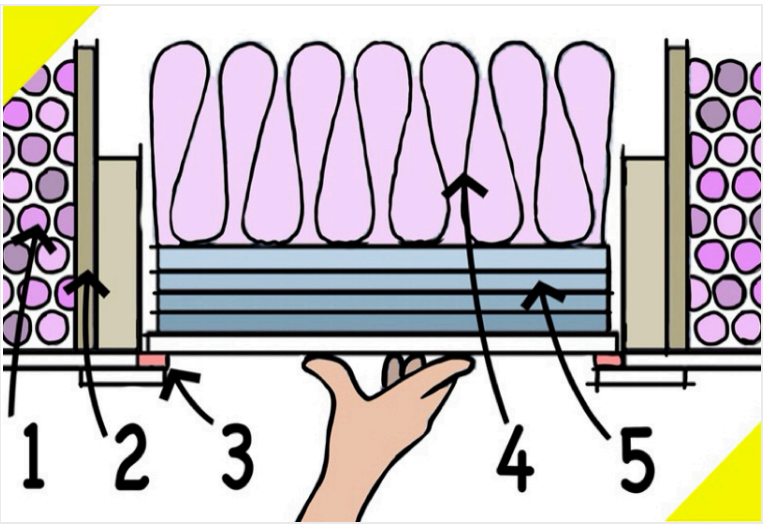
Attic structure Constructed to distribute the weight of the roof onto the exterior walls of the house.





The Hatch Entry Consider using ridged foam board insulation & match the door insulation to that of the attic space.

Hatch Weatherstripping Upgraded weatherstripping will help to mitigate any excess heat & moisture finding its way into the attic space. Compressed. Replace.



Hatch Diagram Also known as the scuttle hole, the better the hatch door, the better you can control your home's climate. A proper cover consists of the following: (1) Attic Insulation, (2) Insulation Dam, (3) Air Seal Gasket, (4) Hatch insulation, (5) The Hatch Door.

Attic Insulation Here are the materials that resist the conductive flow of heat. "The knit hat to the home."

Insulation Depth There's no getting around it: If your house is in cold weather, keeping it warm in winter is expensive. Having the correct amount of attic insulation can help you maintain a comfortable temperature throughout your home & help save $$$ on your energy bills. *Plus, it could help prevent major issues like ice dams or even attic rain.

QUICK FACTS:

Attic insulation is the easiest & most cost-effective upgrade to a home. A properly insulated attic can save you an estimated 10-50% on your heating bill.

Attic Structural Health High attic humidity usually shows up as dampness, rusty fasteners, or frost on the underside of the roof sheathing.

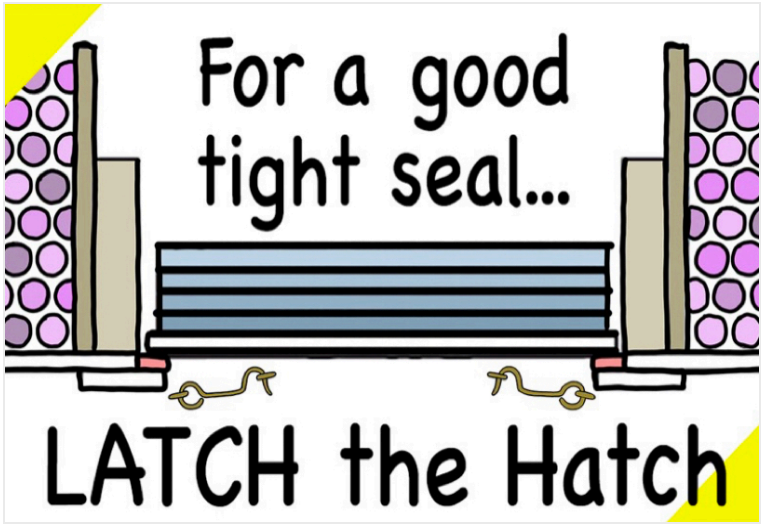
Don't rely on ventilation alone to take care of moisture in the attic. The best protection against condensation, mildew & rot is an air-tight ceiling.

Make sure you keep that attic hatch latched for good compression between the hatch & the weatherstripping.

Roof Sheathing The thin boards of wood that span the trusses and support the rest of the roof

Attic Sheathing "Roof Sheathing" Here are the boards or sheets that bridge the trusses or rafters.

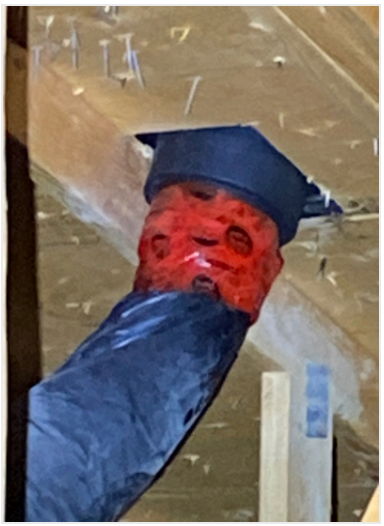
Attic Construction Overall Designed to support the roof with rafters or trusses.



Attic Hatch Latch Attic Hatch Latch The goal is to match the R-value of the hatch to the overall attic R-value. Upgrading the weather stripping & installing a latch to the hatch will help compress the gasket & improve the attic hatch seal.

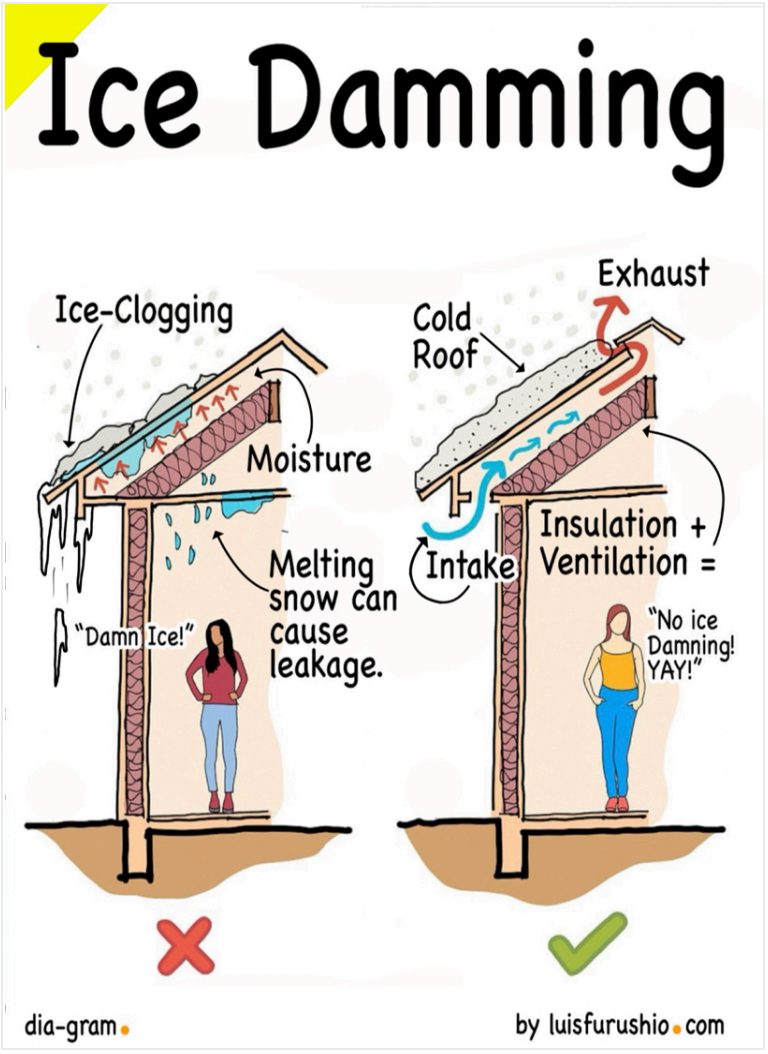
Attic Hatch Skirt Also known as the hatch box. This type of surround is built as a sort of insulation STOP. To prevent insulation from falling on your fa Staining. Improve.

Support Photo Extend skirting to better retain insulation.

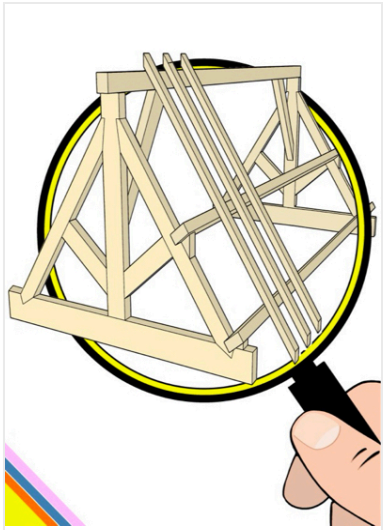


Attic Utility plumbing stack Inspected for continuous ventilation from the component to the outside.

Attic Utility exhaust ducts When vented into the attic, problems can arise via heat & moisture, leading to mold or even rot. Monitor



Ice Damming Ice damming occurs when heat from inside a home melts snow on the roof, causing water to run down and refreeze at the colder eaves, forming a dam. This can prevent proper drainage, leading to water backup under shingles and potentially causing leaks and damage to interiors. Prevention includes improving attic insulation and ventilation. Regularly clearing gutters and using a roof rake to remove snow can also help. In cases of ice dam formation, professional removal is recommended to avoid damage to the roof.



Guest House Attic Page

Attic Sheathing "Roof Sheathing" Here are the boards or sheets that bridge the trusses or rafters.

Attic Hatch The critically important door to your attic space. Make sure to keep insulated, latched & sealed!

Hatch Weatherstripping Applied on either the trim or the hatch for a consistent thermal seal. Replace every couple years.

Attic Structure This is the space above the ceiling of a home's top storey, but below the roof.

Attic Insulation For maximum energy efficiency, attics should be sealed, insulated, & well ventilated.

Guest House Attic Ducts/Vents Inspected for continuous ventilation to the outside. Staining. Improve.

Support Photo

The Attic You may never have taken the time to look inside the attic of your home, but knowing its condition can save you $$$.

The access is usually in a discreet place like a closet & will require the use of a ladder or chair to climb up.

Pushing open the hatch, you'll most likely find a space that runs the length & width of your home & contains nothing more than insulation & the roof framing.

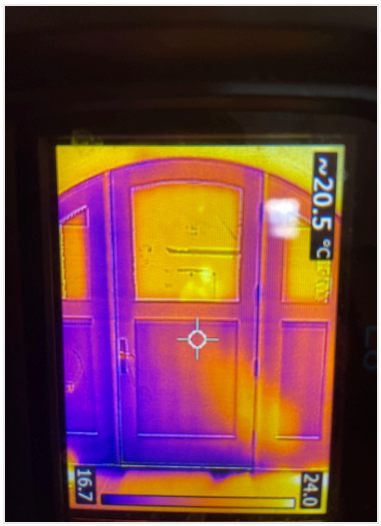
Not exactly glamorous, but it serves an essential structural purpose. IF it isn't properly maintained, it could cause you many headaches in the future.

The bottom line, your attic is an essential part of your home. A toque (sock hat) in winter, an umbrella in spring, & shade in the hot summers.

T

BACK TO SUMMARY

Please remember Minor cold spots are present in every home. Every effort was made to scan the entire structure unless obstructed.

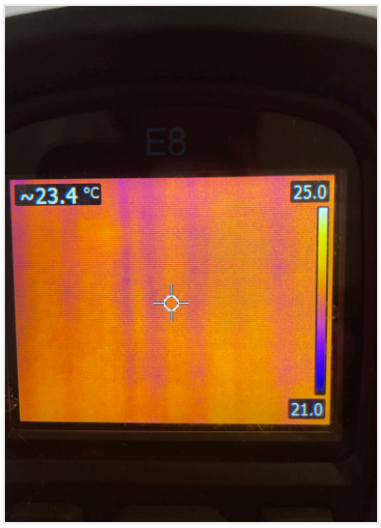


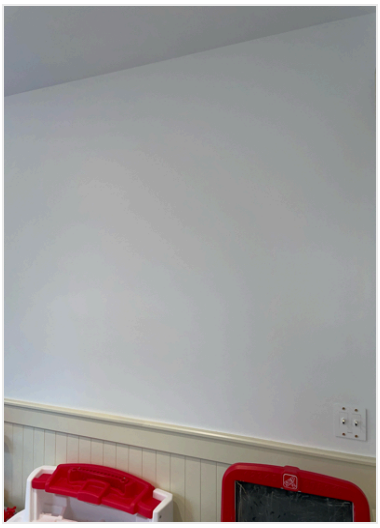
Thermal Front Door Scanned for irregularities, air leaks & consistency.

Front Door Keeping a good seal is essential to maintaining the energy efficiency of your home.

Thermal Windows Scanned for irregularities, air leaks & other moisture-prone areas.

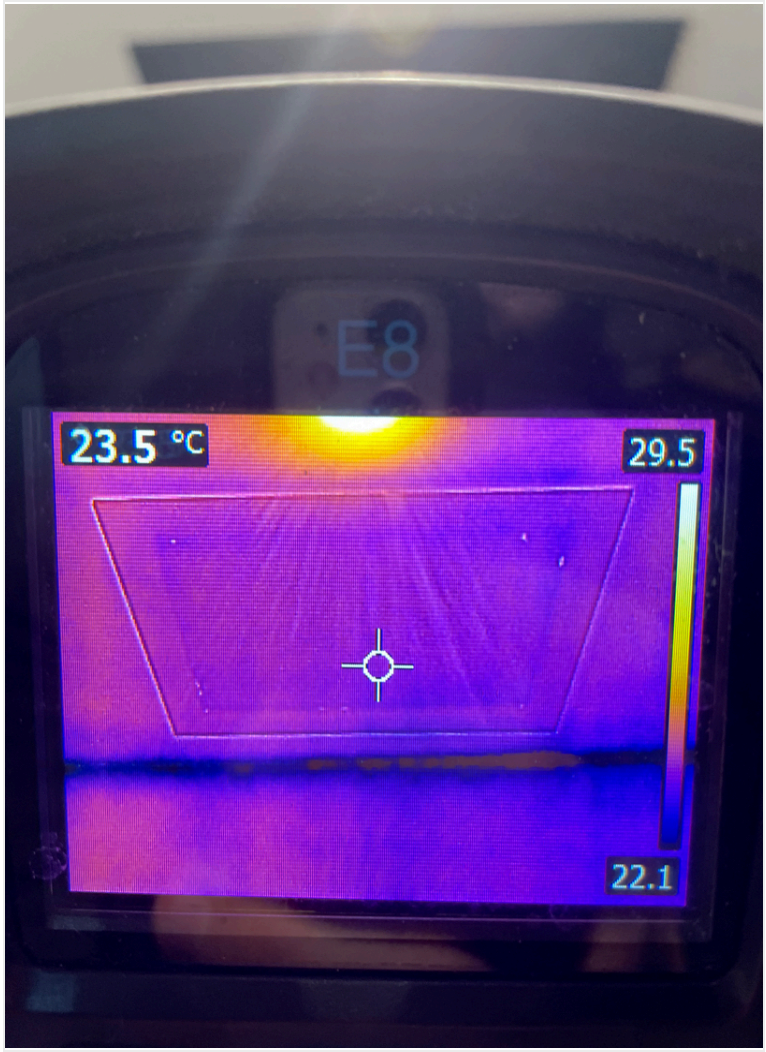
Interior Window Opening your blinds can expose the surface of windows to circulating air which will help keep the condensation away!!



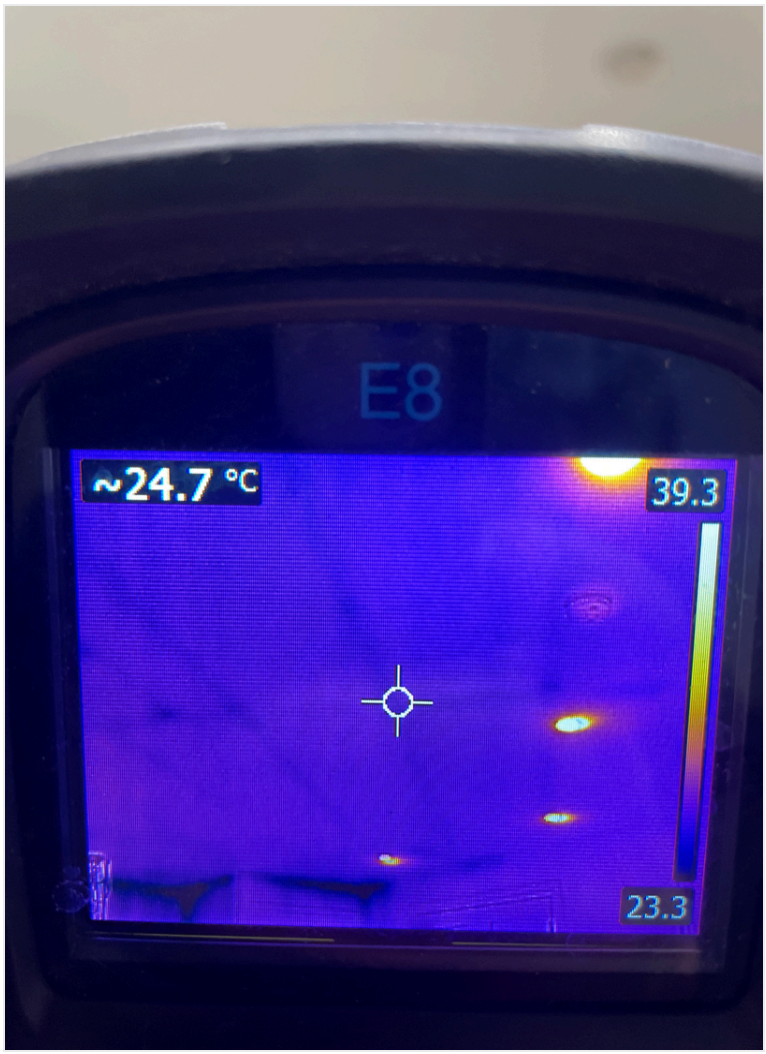


Thermal Walls As seen from the inside. All walls & ceilings were scanned for irregularities.

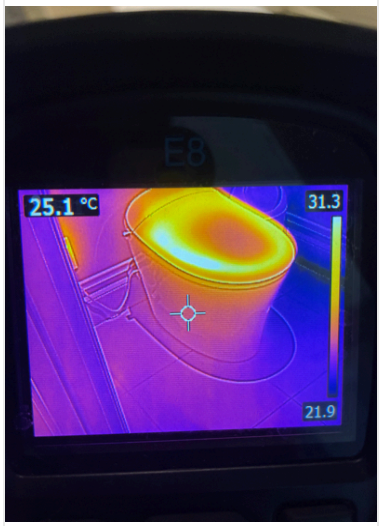
Interior Wall If these walls could talk. One of the best ways to see how a home has been built & maintained.



Thermal Attic Hatch What we're looking for throughout the entire thermal portion of this inspection: missing, damaged, or inadequate insulation, building envelope air leaks, moisture intrusion, & sometimes we can even see substandard workmanship behind the walls. This tech works really well when something is WET, or there is a strong variance in temperature, but when it's dry (like an old water stain) it will simply blend in with everything else.

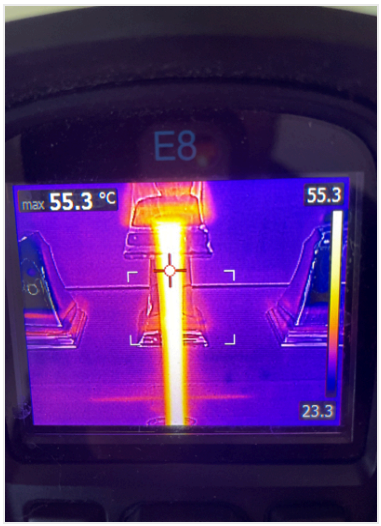


Thermal Ceiling We look up, down & all around. Doors, windows, or any penetration in the skeleton of your home is where we usually find the largest temperature variance. This is why it's best to be a stickler about cleaning & replacing your weather stripping every couple of years. In the ceiling, we typically find colder areas around the utility penetrations. For example, at speakers, electrical boxes, pot lights, & more...



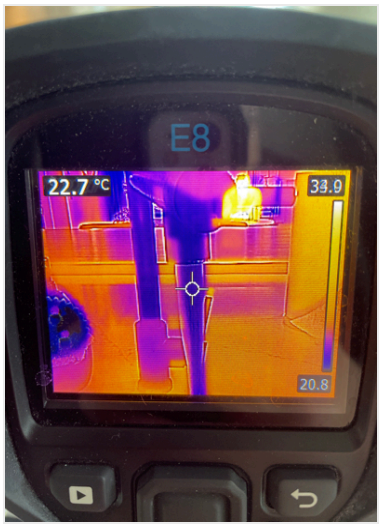
Thermal Toilet Scanned for leaks at the base, tank & shut-off valve.

Toilet Inspected for deficiencies using normal operating procedures.



Hot Water Thermal We always thoroughly run ALL plumbing fixtures & check for temperature variance.

Hot Water Tap Visually examined for common defects.

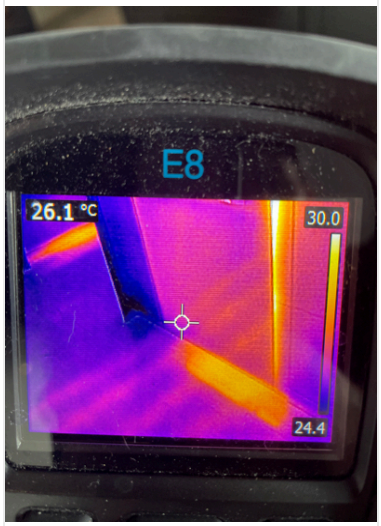


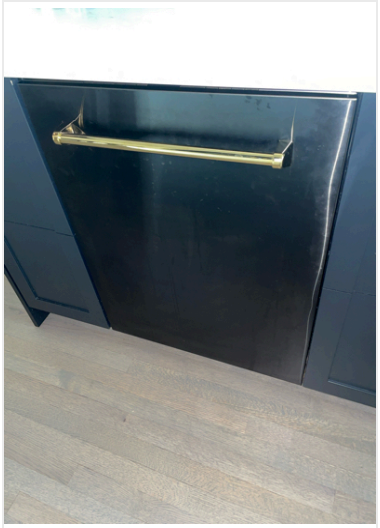
Cold Water Thermal See photo

Cold Water Tap Inspected for deficiencies using normal operating procedures.

Thermal P-Trap Scanned for leaks or the presence of moisture.

P-Trap Preventing smelly gases since the year 1775! These TRAP water at the "P" creating a seal.





Thermal Dishwasher A representative # of potential leak points were thermally examined today.

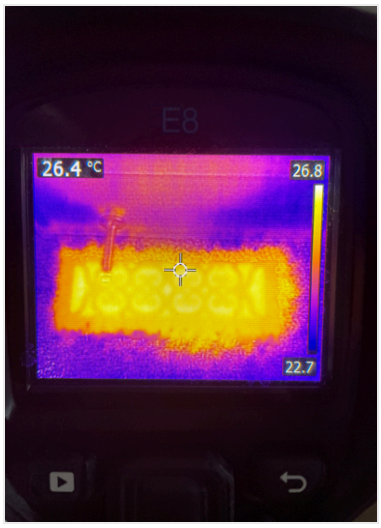
Dishwasher See the Kitchen section for a description of this component.

Thermal Laundry Washer Scanned for proof of operation & the presence of moisture.

Laundry Washer The most memorable days end with the dirtiest clothes!

Thermal Laundry Dryer Scanned to make sure it's heating up!

Laundry Dryer Removes moisture from a load of clothing, bedding & other textiles.

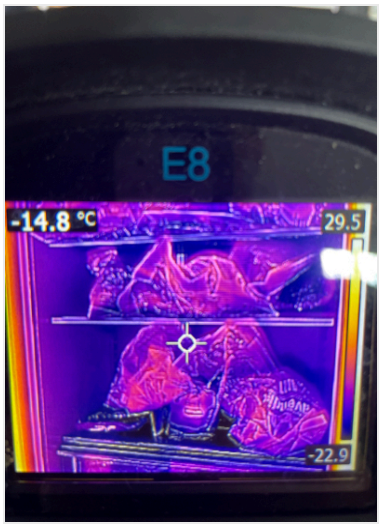


Thermal Heat Supply Thermal was used to inspect for temperature & to demonstrate air flow.

Heat Supply Visually examined for common defects.

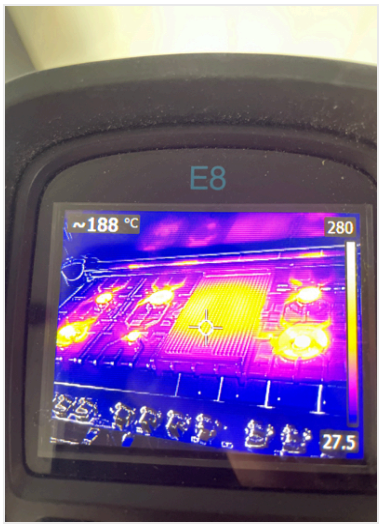
Thermal Refrigerator Scanned for proof of operation & the presence of moisture.

Inside Fridge For your records.



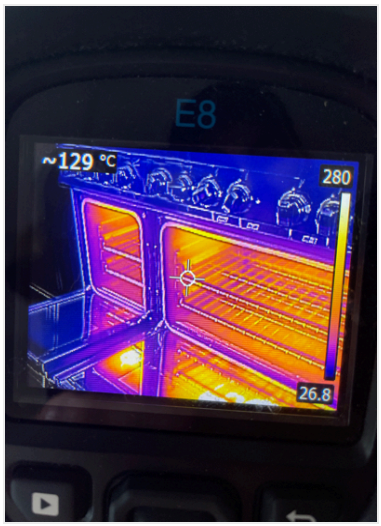
Thermal Freezer Scanned for proof of operation & the presence of moisture.

Inside Freezer Visually examined for common defects.



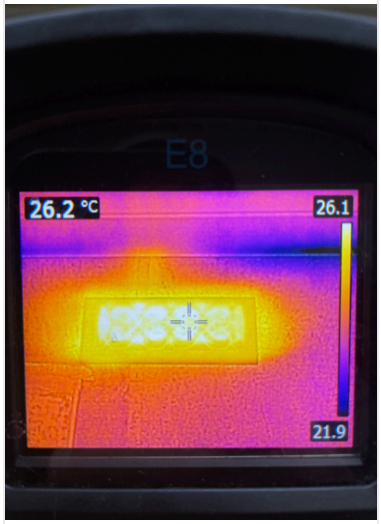
Thermal Stove Scanned for proof of operation.

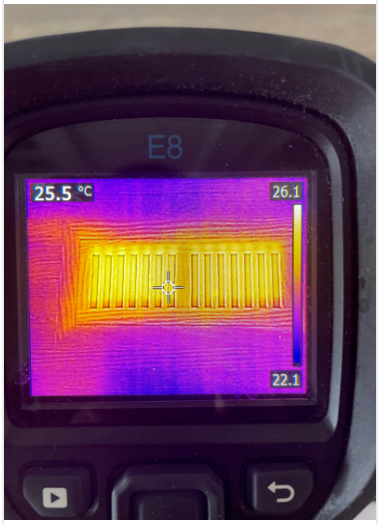
Cooktop Always hard to keep clean!



Thermal Oven Scanned for proof of operation.

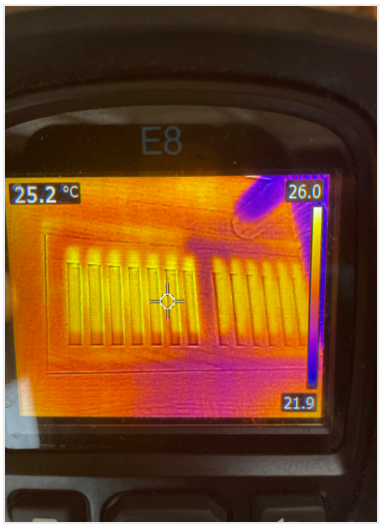
Oven Visually examined for common defects.

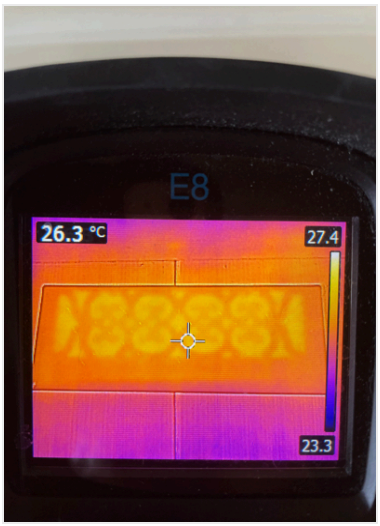




Thermal Heat Supply Upstairs.

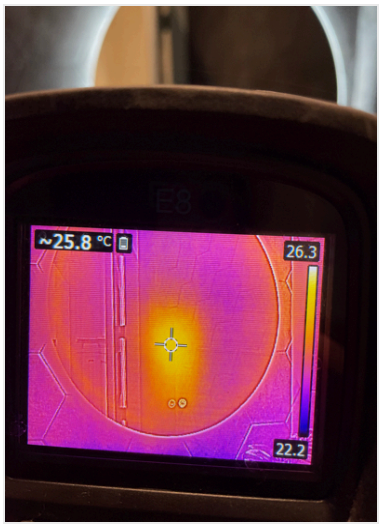
Support Photo Main floor.

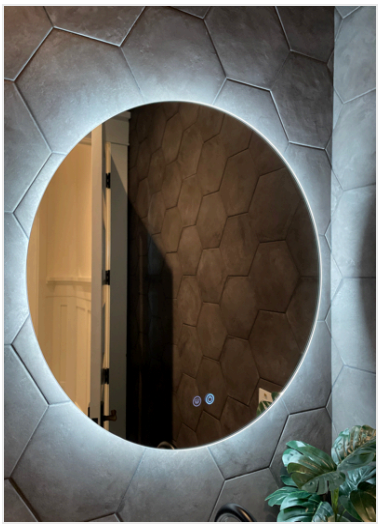




Support Photo Office.

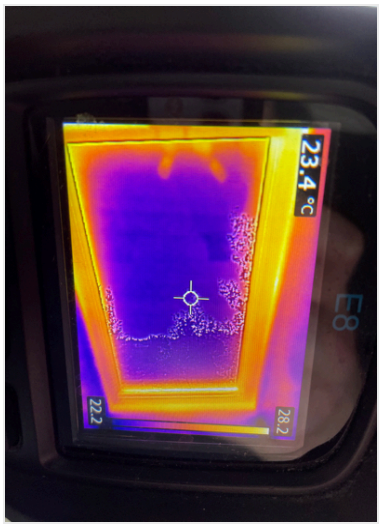
Support Photo Basement.





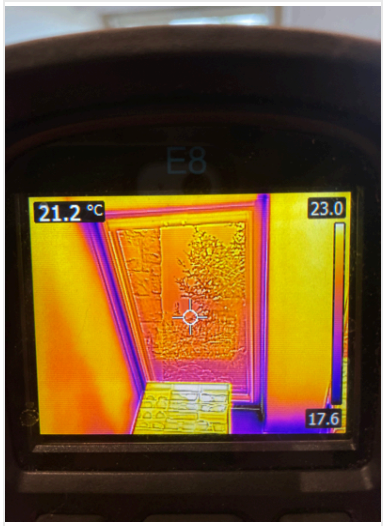
Heated Mirror Thermal Scan Scanned for anomalies.

Support Photo



Thermal Skylight Scanned for irregularities & the presence of moisture.

Skylight A window to the stars. Keep on top of ventilation & good airflow to prevent condensation.



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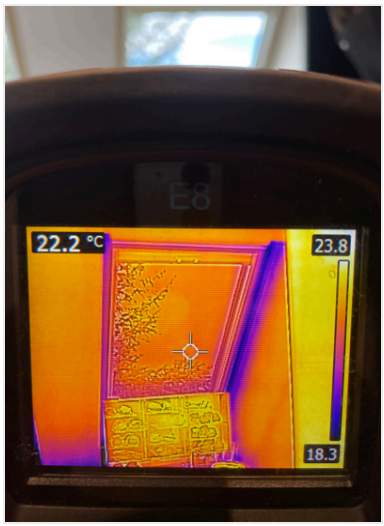

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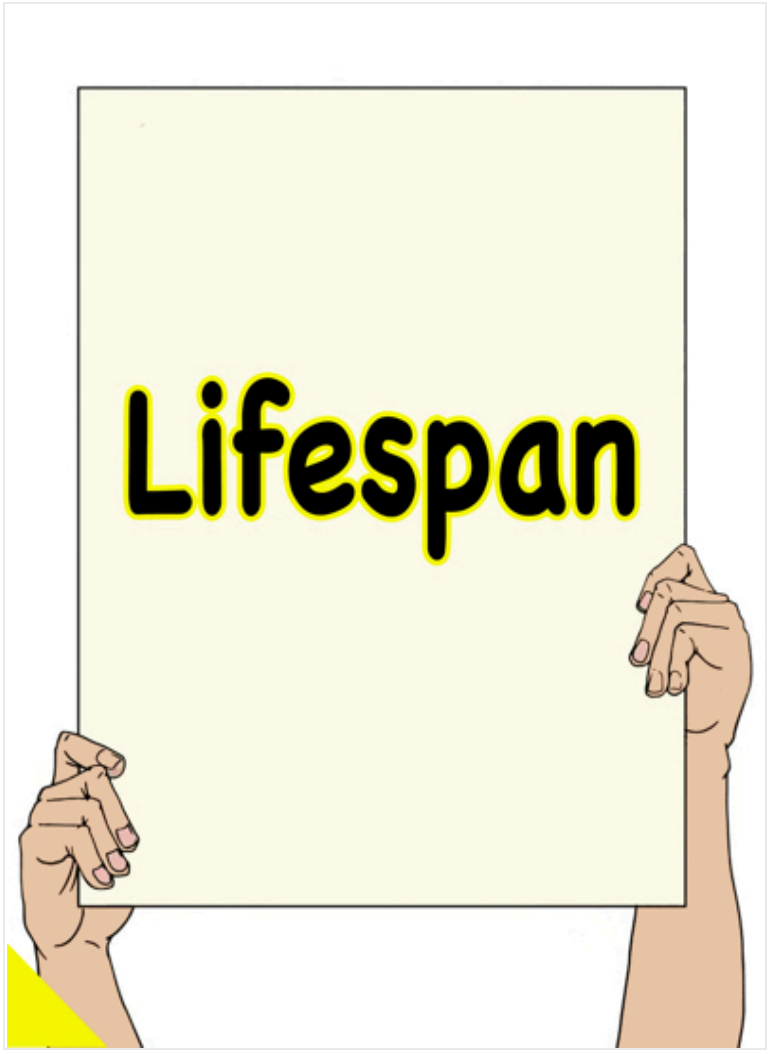
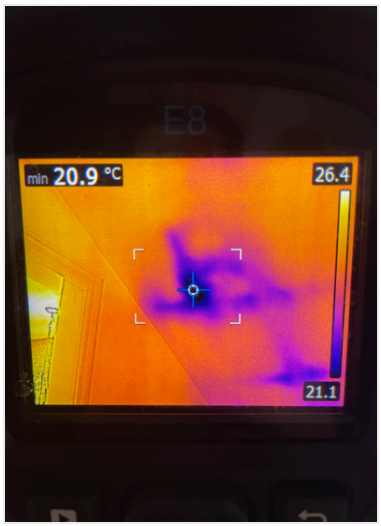


Lifespan • Skylights Depending on region & climate 10-20 years.

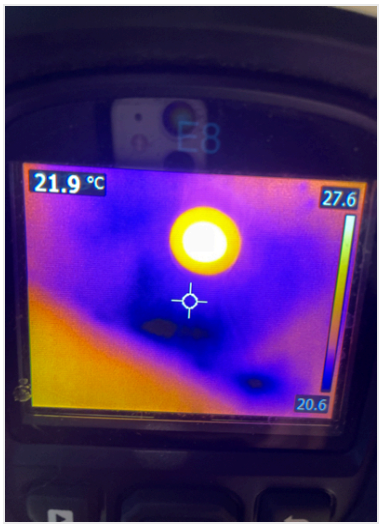
Additional Thermal Scans

Moisture Meter Readings Used to measure the percentage of moisture in a given material. Spot checks were performed.



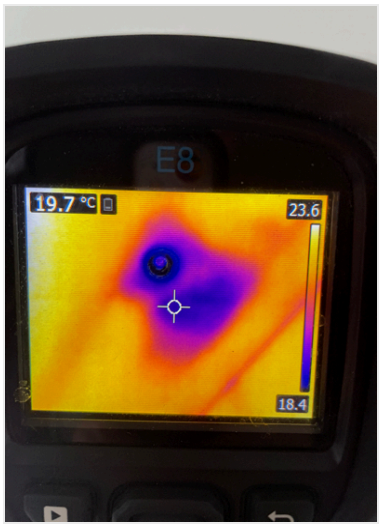
- **Additional Thermal Scan** Master bedroom ceiling. Scanned for anomalies. Cold Spot. Monitor.

Moisture Meter Moisture meter was used to confirm area was dry at the time of inspection. Monitor.



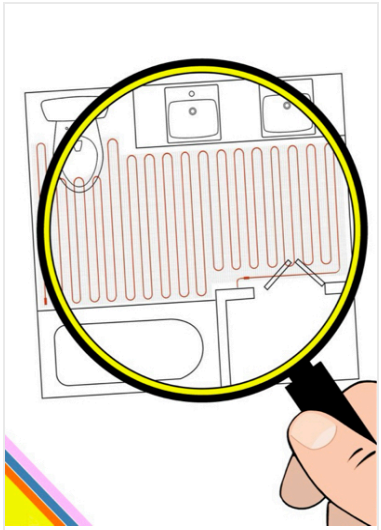
- **Additional Thermal Scan** Ensuite toilet room ceiling. Scanned for anomalies. Cold spot. Monitor.

Moisture Meter Moisture meter was used to confirm area was dry at the time of inspection. Monitor.



- **Additional Thermal Scan** Dining room ceiling stain. Scanned for anomalies. Cold Spot. Minitor.

Moisture Meter Moisture meter was used to confirm area was dry at the time of inspection. Monitor.

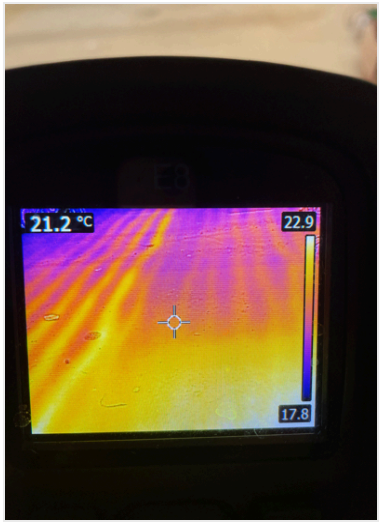


Infloor Heating Page A heating system installed beneath the floor surface to provide warmth and comfort.

In-Floor Thermostat Main entry in-floor heat thermostat. Poor Function. Further Evaluate/Repair.

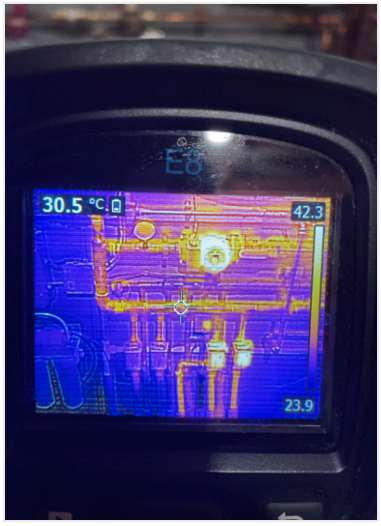
Thermal In-Floor Heat Scanned for proof of operation.

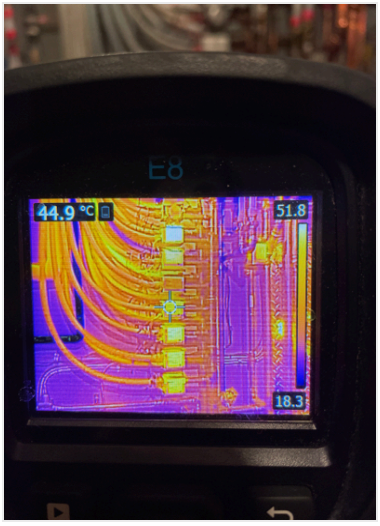
Flooring Kitchen dining room.



Thermal In-Floor Heat Scanned for proof of operation.

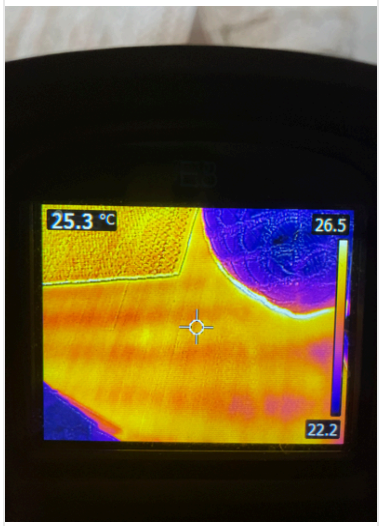
Flooring Garage.

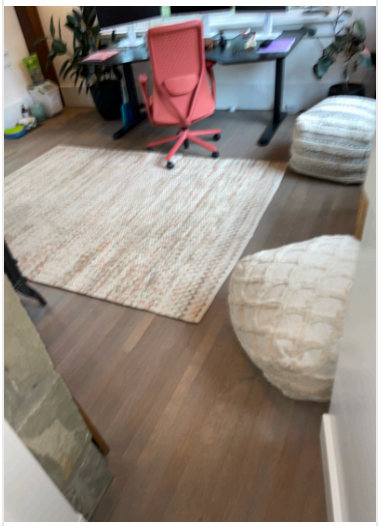




Thermal Manifold Scanned for leaks.

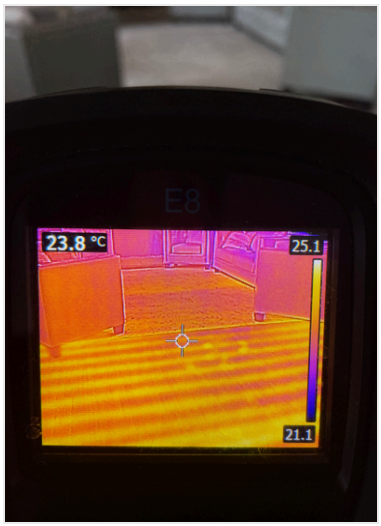
Hydronic Manifold The central place where water is distributed into pipes & sent through the radiant system.





Thermal In-Floor Heat Scanned for proof of operation.

Support photo Office.

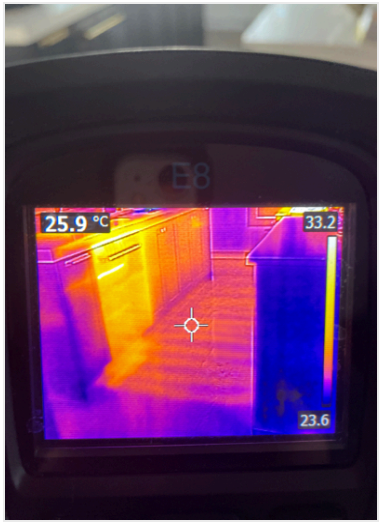


Thermal In-Floor Heat Scanned for proof of operation.

Support photo Living room.

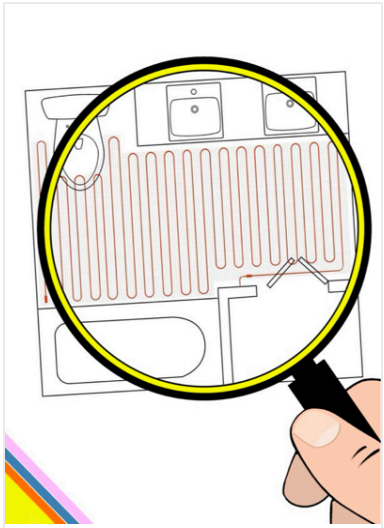
Thermal In-Floor Heat Scanned for proof of operation.

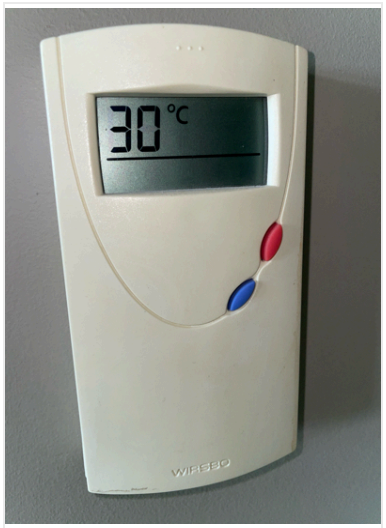
Support photo Dining room.



Thermal In-Floor Heat Scanned for proof of operation.

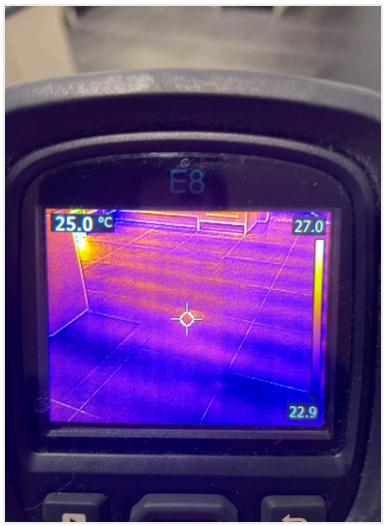
Support photo Kitchen.

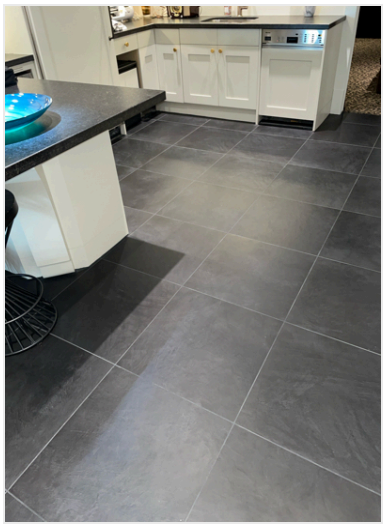




Infloor Heating Page A heating system installed beneath the floor surface to provide warmth and comfort.

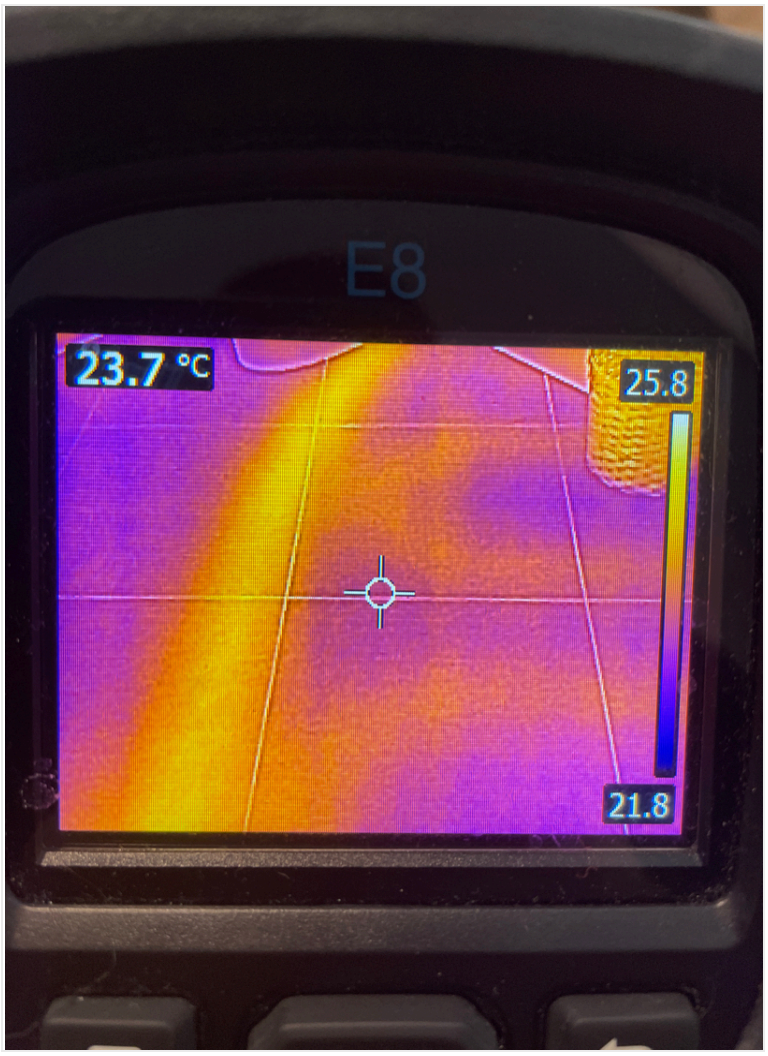
In-Floor Thermostat The regulator of your electric or hydronic floor heating system. Turned ON for testing & back to original setting.





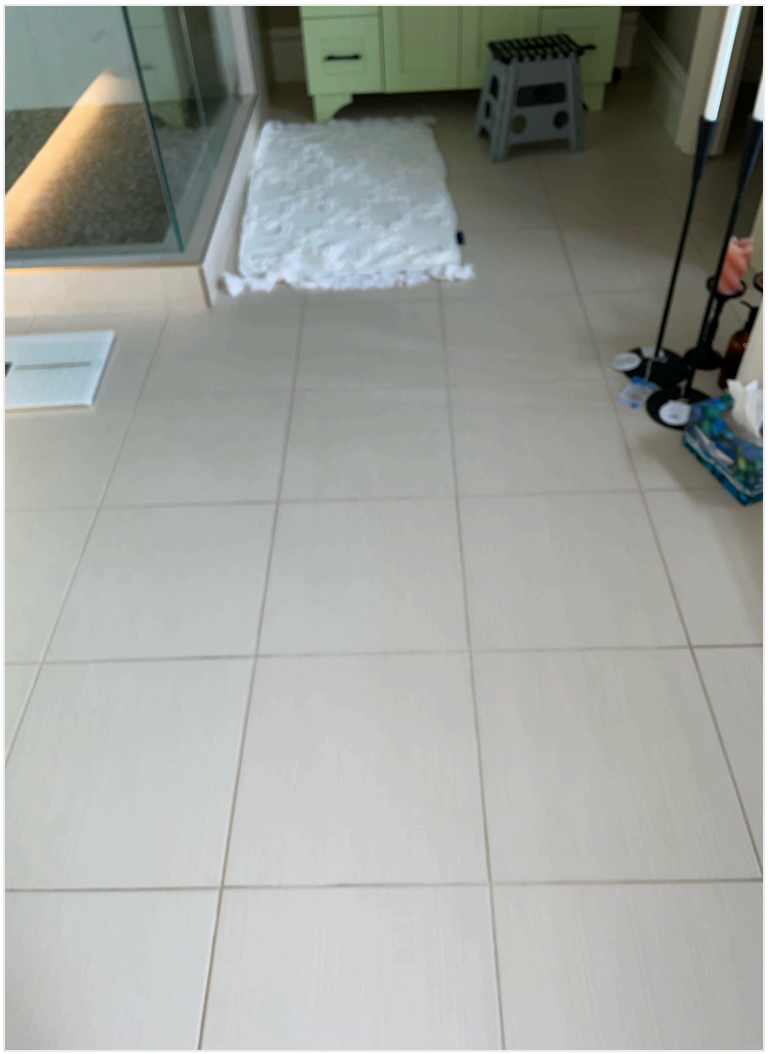
Thermal In-Floor Heat Scanned for proof of operation.

Flooring Downstairs bar.

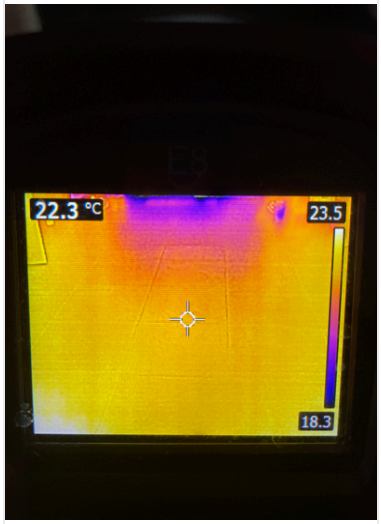


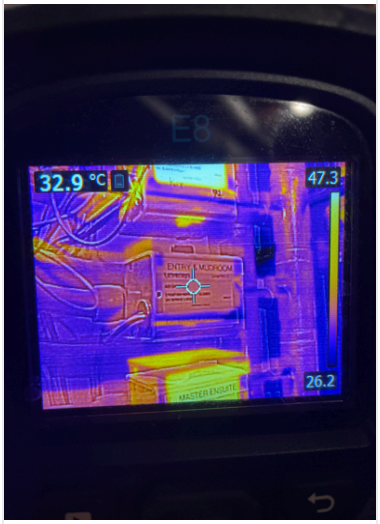
Thermal In-Floor Heat Basement shared bathroom. Scanned for proof of operation.

Thermal In-Floor Heat Scanned for proof of operation.



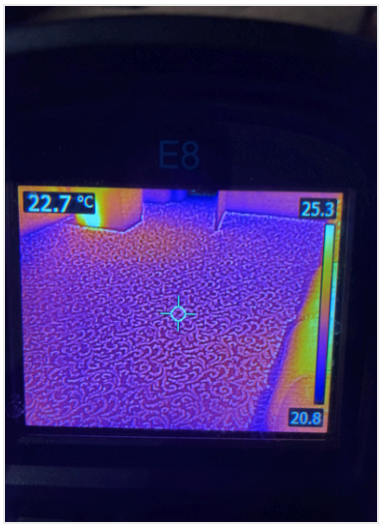
Support Photo Master ensuite.





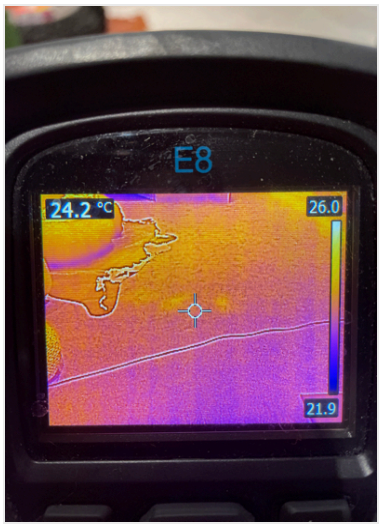
- **Thermal In-Floor Heat** Scanned for proof of operation. No Function, Multiple Zones. Request Info/Further Eval.

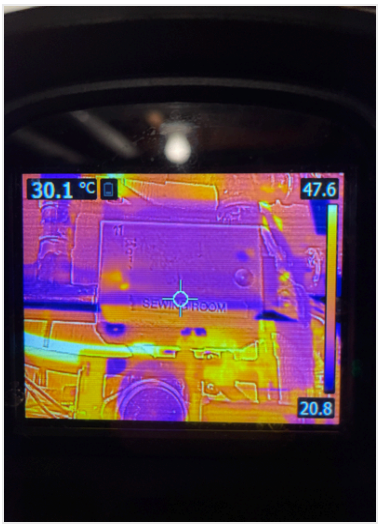
Support photo Entry & Mud Room



- **Thermal In-Floor Heat** Scanned for proof of operation. No Function. Request Disclosure.

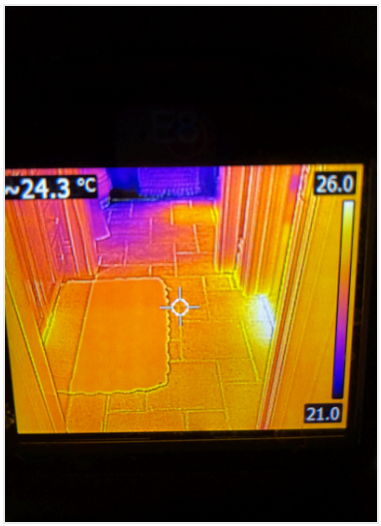
Support Photo Media (Theatre) Room





- **Thermal In-Floor Heat** Scanned for proof of operation. No Function. Request Disclosure.

Support photo Basement Games Room.

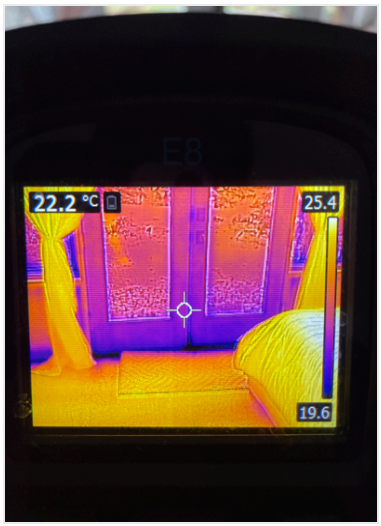


- **Thermal In-Floor Heat** Scanned for proof of operation. No Function. Request Disclosure.

Support Photo Upper Kids Ensuite.

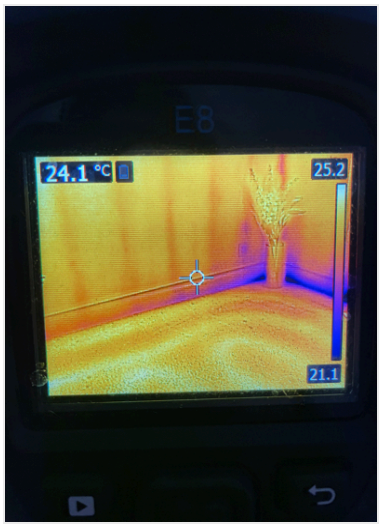
Basement Thermal Scan For Your Records

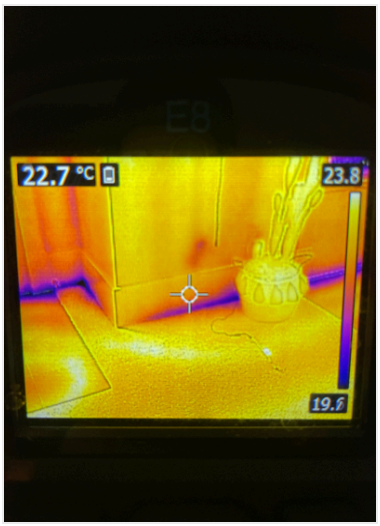
Thermal Basement Overhead Ceiling, joist space or sub-floor (as visible) scanned for anomalies.



Thermal Basement Door Scanned for seal depletion & the presence of moisture.

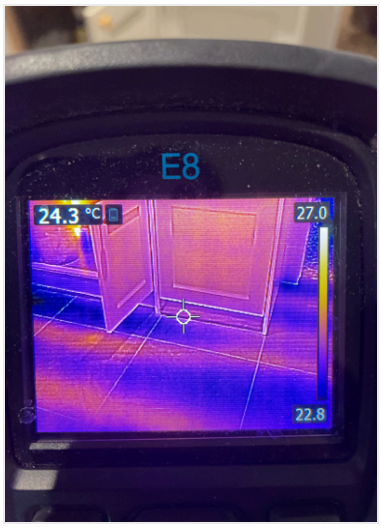
Thermal Basement Door Scanned for seal depletion & the presence of moisture.





Thermal Foundation Scanned for insulation irregularities, leaks & consistency.

Thermal Foundation Scanned for insulation irregularities, leaks & consistency.

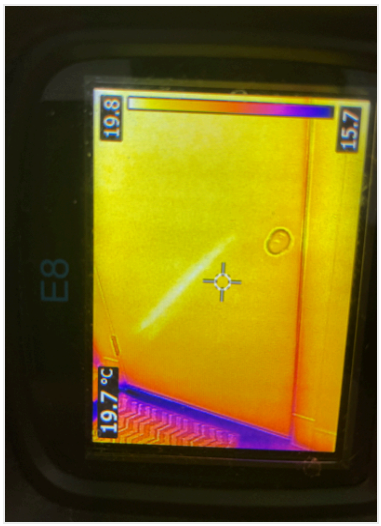


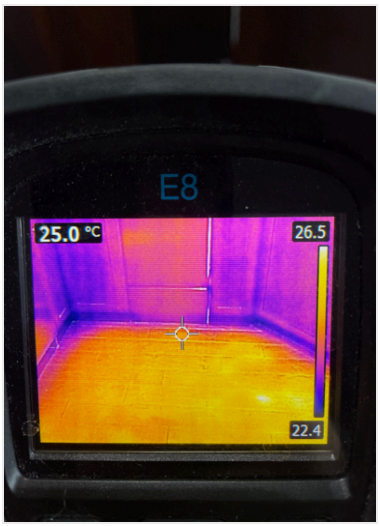
Additional Thermal Scan Basement bar dishwasher.

Additional Thermal Scan Scanned for anomalies.

Guest House Thermal Scans

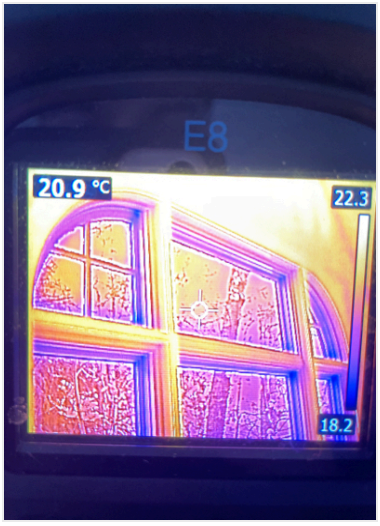
Thermal Page Uses infrared cameras to detect variations in temperature, revealing hidden issues like poor insulation or moisture leaks.





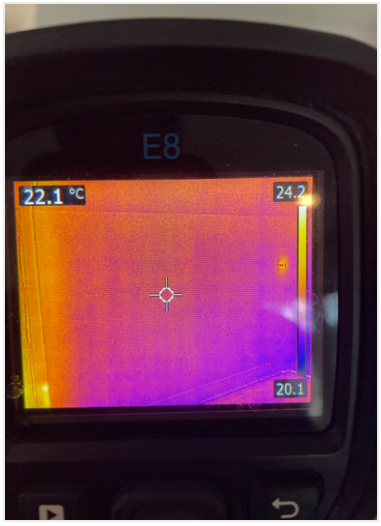
Thermal Door Scanned for insulation irregularities, air leaks & consistency.

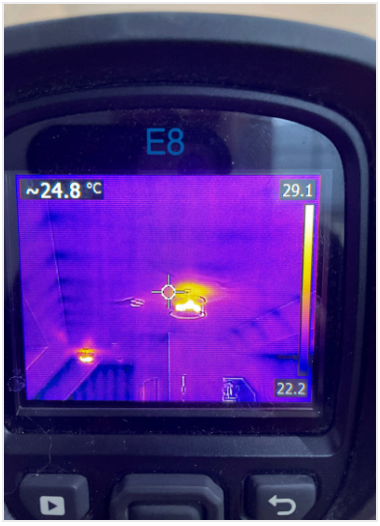
Thermal Dishwasher A representative # of potential leak points were thermally examined today.



Thermal Windows Scanned for irregularities, air leaks & other moisture-prone areas.

Thermal Window Scanned for seal depletion & the presence of moisture.



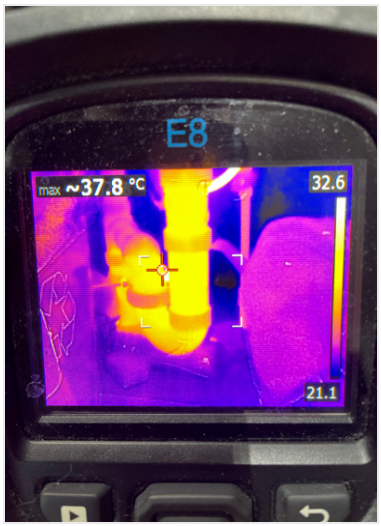


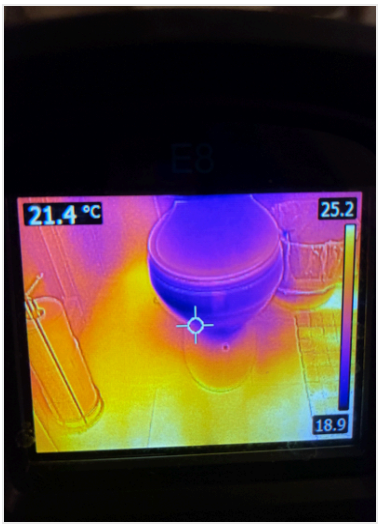
Thermal Walls As seen from the inside. All walls & ceilings were scanned for irregularities.

Thermal Ceilings Scanned for anomalies.

Hot Water Thermal We always thoroughly run ALL plumbing fixtures & check for temperature variance.

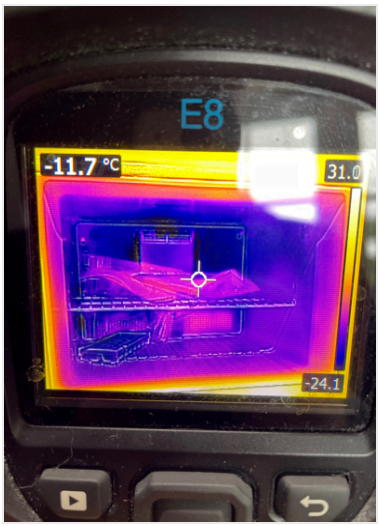
Cold Water Thermal See photo





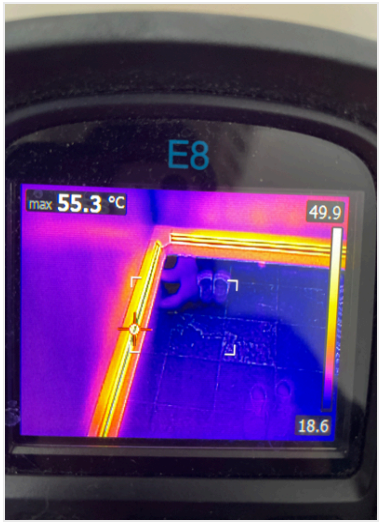
Thermal P-Trap Scanned for leaks & demonstrating that it's holding water in the trap.

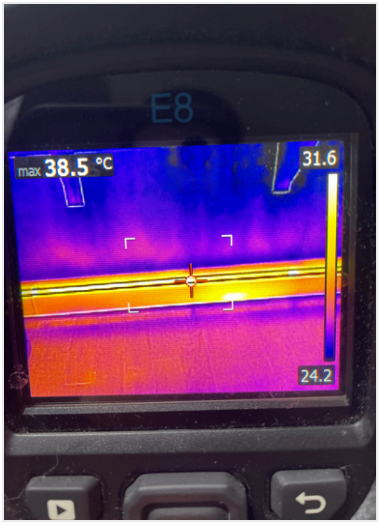
Thermal Toilet Scanned for leaks at the base, tank & shut-off valve.



Thermal Refrigerator Scanned for proof of operation & the presence of moisture.

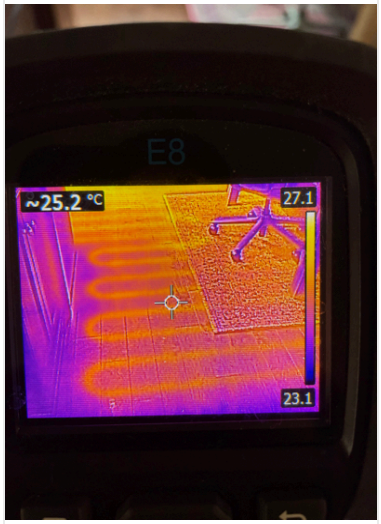
Thermal Freezer Scanned for proof of operation & the presence of moisture.





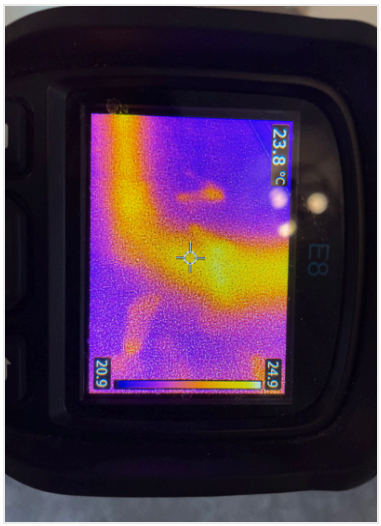
Thermal Baseboard Heater A representative # of potential leak points were thermally examined today.

Thermal Baseboard Heater Scanned for irregularities & consistency.



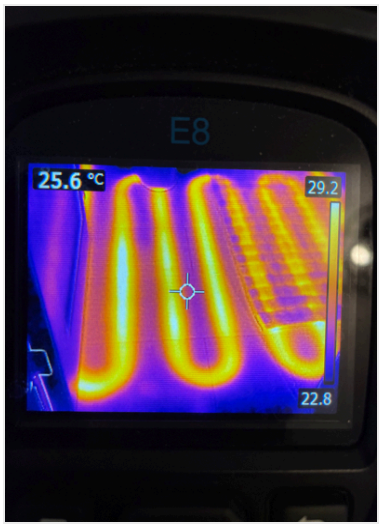
Thermal In-Floor Heat Scanned for proof of operation.

Support Photo Kitchen.



Thermal In-Floor Heat Scanned for proof of operation.

Support Photo Living room.



Thermal In-Floor Heat Scanned for proof of operation.

Support Photo Bathroom.

Thermal Manifold Scanned for leaks.

Support Photo

Thermal Tech All objects emit infrared energy, known as a heat signature. An infrared camera (also known as a thermal imager) detects & measures the infrared energy of objects. The camera converts that infrared data into an electronic image that shows the apparent surface temperature of the object being measured.

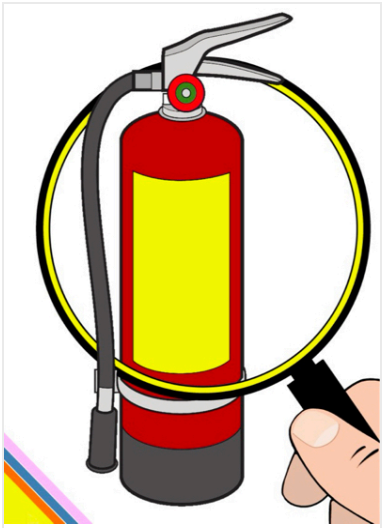
An infrared camera contains an optical system that focuses infrared energy onto a special detector chip (sensor array) with thousands of detector pixels arranged in a grid.

Each pixel in the sensor array reacts to the infrared energy focused on it & produces an electronic signal. The camera processor takes the signal from each pixel & applies a mathematical calculation to it to create a color map of the apparent temperature of the object.

Each temperature value is assigned a different color. The resulting matrix of colors is sent to memory & to the camera's display as a temperature picture (thermal image) of that object.

H

BACK TO SUMMARY



Fire extinguisher One per floor! Easy access to an extinguisher helps prevent fires & protects your home & your family.

Carbon Monoxide Test Spot checked in suspect areas & used to detect colorless, odorless, & tasteless gas.

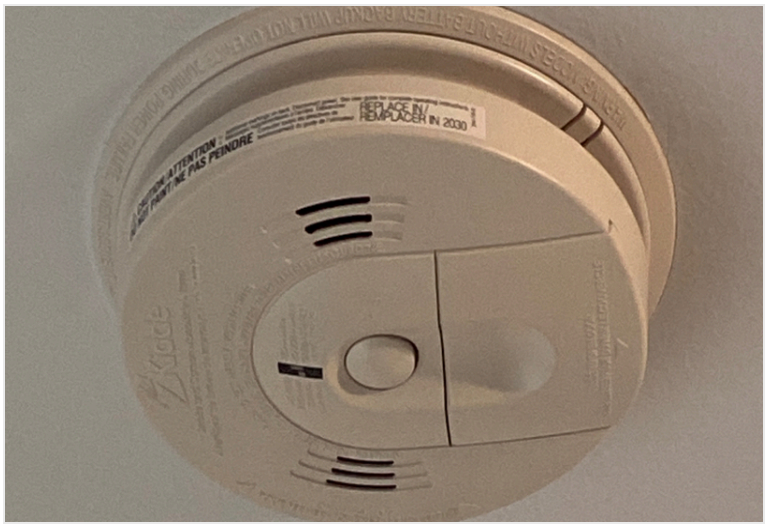
Moisture Test Used to measure the percentage of water in a given product. Spot checked throughout—especially the usual suspects.

Smoke Detector These detect fires by sensing small particles in the air using a couple of different kinds of technologies. Once they detect those particles above a certain threshold, they signal the alarm to sound so that you & your family can get to safety & call 911. A working smoke alarm cuts your risk of dying in a home fire in half. Missing or dead batteries cause nearly all alarm failures. For the best protection, install a combination hard-wired alarm with battery backup. If your alarms use regular batteries, swap in fresh batteries at least once a year. A "chirping" sound means that it's time to change batteries.

Upstairs Smoke Detector The smoke sensor, typically as an indicator of fire.

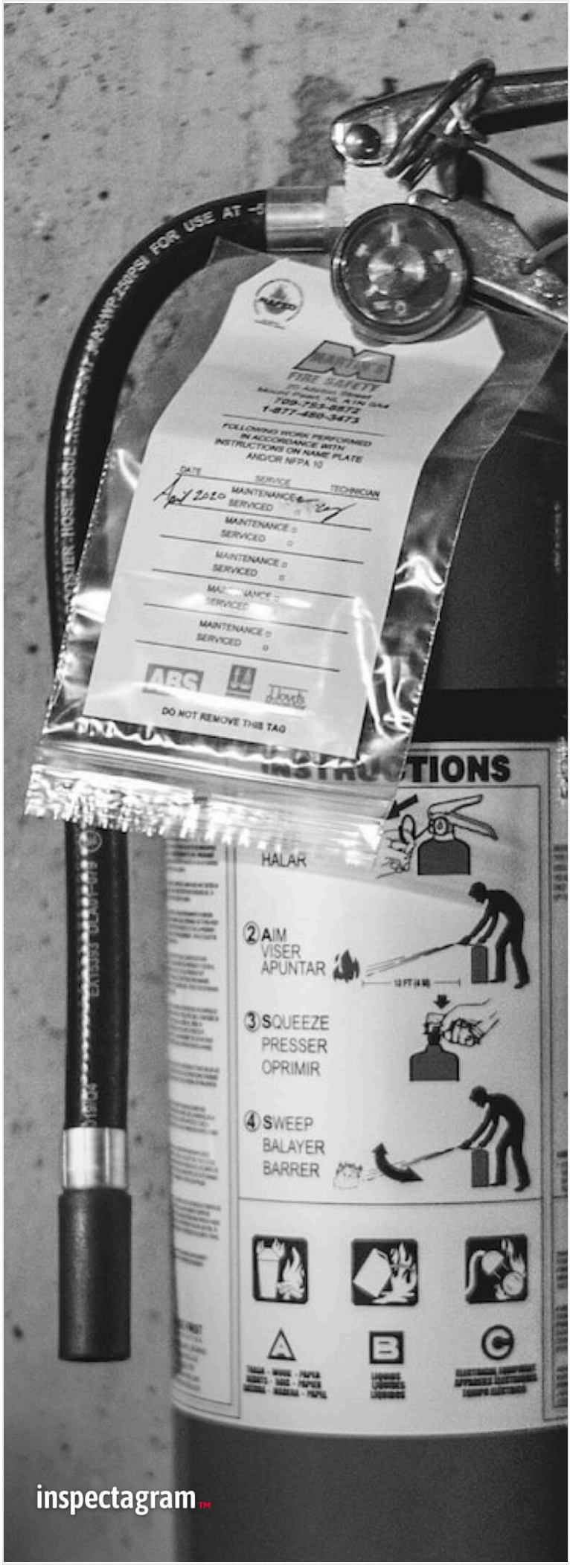
Basement Smoke Detector Recommended to be replaced every 7-10 years or so. Should be at least 1/floor and nowadays in all bedrooms as well. These ones are typically for a monitored security system.

Guest House Health & Safety We conduct CO2, gas sniffer, GFCI, and outlet tests to safeguard against safety risks and ensure the proper functioning of essential systems in our living spaces. These tests help prevent accidents, health hazards, and property damage, enhancing overall safety and peace of mind.



Smoke Detector The smoke sensor, typically as an indicator of fire.

Support Photo

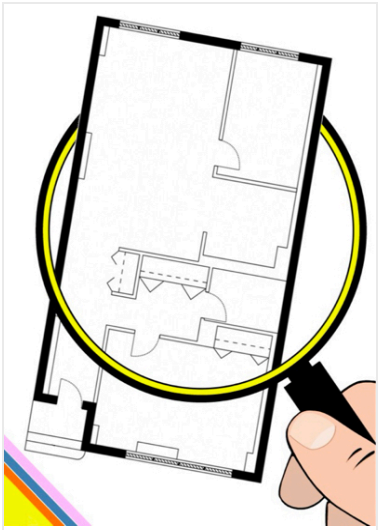


Health & Safety If there's one place you should always feel safe, it's your home. It's your castle... a place of refuge, privacy, & security.

Here are a few tips to help:

- Consider changing locks for all doors & making sure they work for all windows.
- Store matches, lighters, medications, household cleaners, & other toxic substances in a safe place. Make sure they are clearly labeled & in their original containers.
- Store firearms & ammunition separately & under lock & key.
- Use light timers so your child doesn't come home to a dark house.
- Fire Safety: you must have a smoke alarm on each level of the house (or for homes on one level, near the kitchen & all bedrooms). Test them to make sure they all work.
- Replace any broken electrical cords & use no more than two plugs per outlet.
- Keep your water heater below 60 C to prevent scalding.
- First Aid: Assemble a basic kit
- Power Outages: Keep a flashlight or two (& extra batteries) handy.

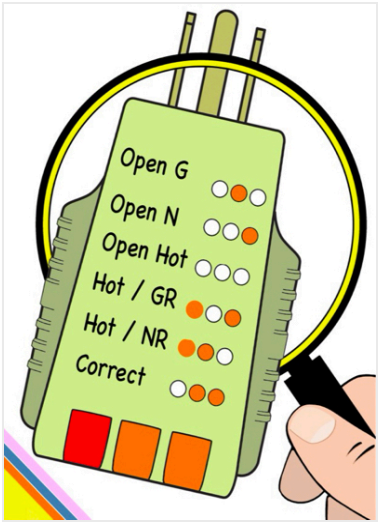
BACK TO SUMMARY



Go green LED lights are today's most energy-efficient & rapidly-developing technology. These bulbs last longer & are more durable.

Switches A select number of outlets (outlet tester) & switches were tested for function.

Interior Lights We disco these ON & OFF more than a few times to try to catch a problem.



Outlets Provide electricity after plugging in your device. Tested for faults.

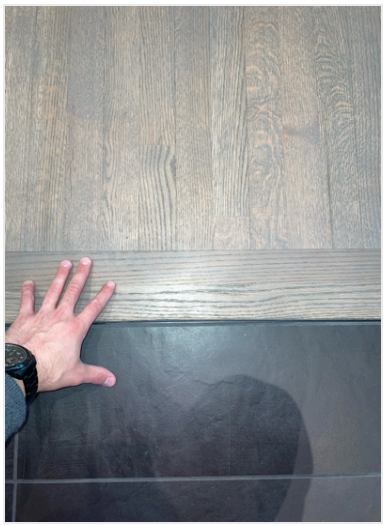
Plug Tester Used to confirm if an outlet or plug is wired correctly.

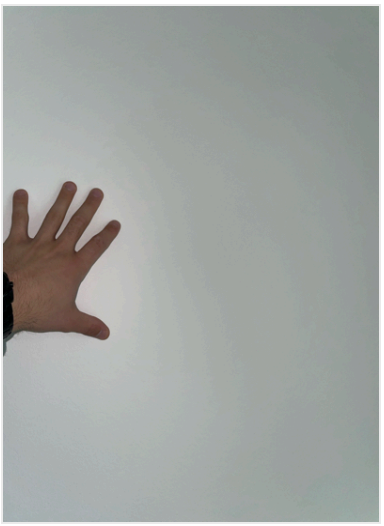
Door Knob Snug up door knobs/handles, towel bars, toilet paper holders & door stops. A yearly routine will help keep it ship shape!

Door Hinges Don't forget about this hard-working component...Tap the pins down & snug up the screws from time to time.

Thermostat Charged with the regulation of the temperature. The location & placement makes a huge difference in its readings.

Thermostat AFTER This is just for our records showing we set it back to its original state.



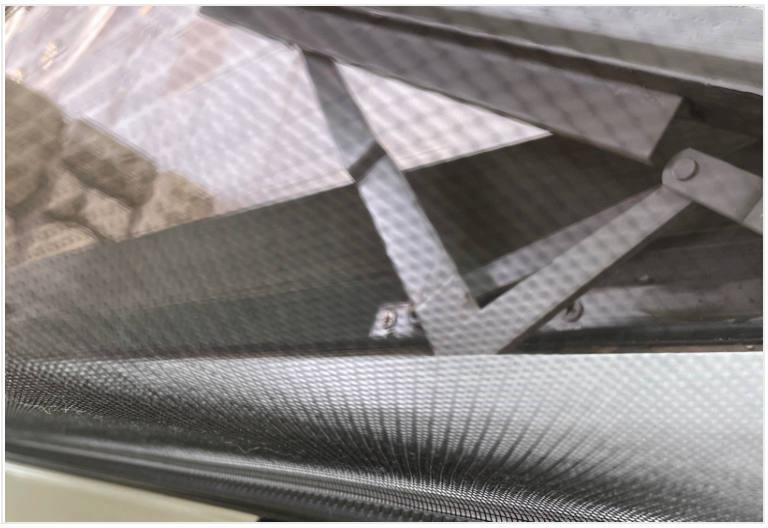


Flooring We're not here for flooring inspections, but we keep an eye out for significant issues.

Interior Wall If these walls could talk. One of the best ways to see how a home has been built & maintained.

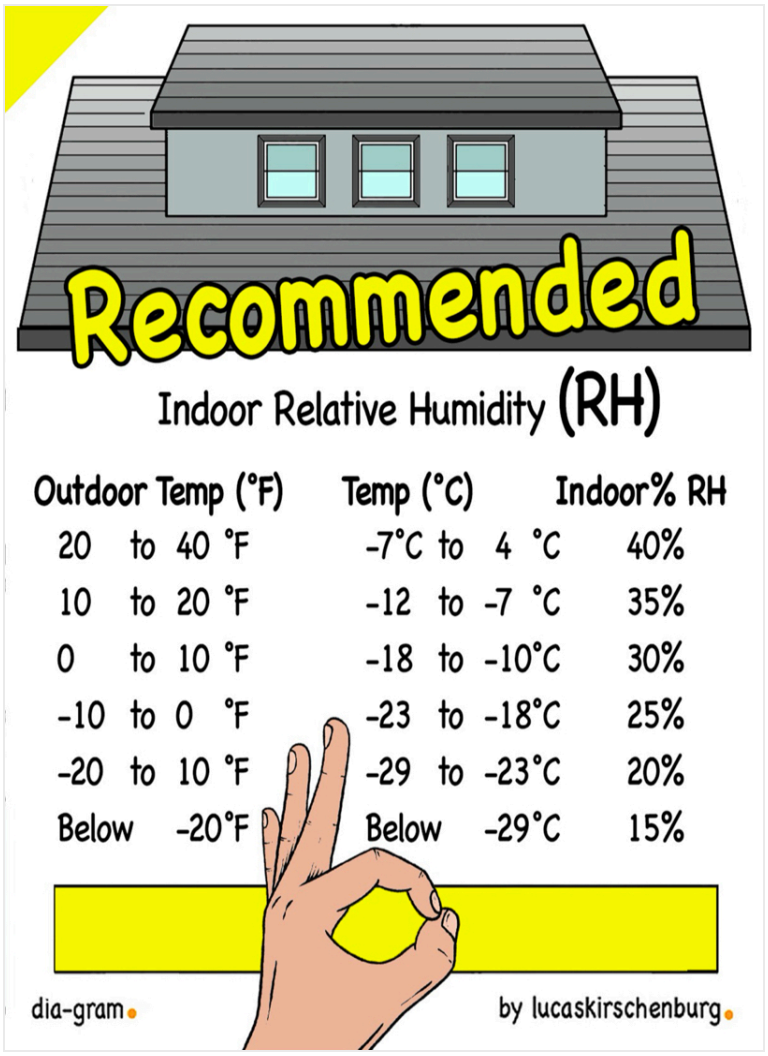
Interior Window Opening your blinds can expose the surface of windows to circulating air which will help keep the condensation away!!

Open Window A representative # of doors & windows were checked for operation & blown seals.



Window Track These hold the window in place. A yearly routine should be made to keep them clean & free of debris. In most homes, these are usually quite gummed up.

Window Sills & Casing Condensation forms on windows when outside temperatures are low. Keeping blinds/window coverings open, internal screens out, lowering humidity levels, & regularly replacing furnace filters will all help with condensation. Moisture Damage. Repair or Replace.



About Humidity Maintaining proper indoor relative humidity in winter is crucial to health and comfort. Cold air holds less moisture, leading to dry indoor air when heated. Optimal indoor humidity (30-50%) prevents respiratory issues, dry skin, and damage to wood furnishings. Balancing it with outdoor temperature prevents condensation on windows and mold growth, ensuring a healthy and comfortable living environment.

Cosmetic Defect Info Hardwood crack on staircase landing.

Imperfection Baseboard scratches/scuffs.

Cosmetic Defect Cracks were seen on ceiling/drywall. May be cosmetic in nature or even signs of settlement. Recommend repair & monitor.

Tape Seam(s) The culprit is the installation. For the seam to disappear, it must be covered with a compound in a specific way.

Stain See thermal section for additional thermal scan & moisture meter testing.

Sealant Depletion Regardless of the quality of used, caulk & sealants will eventually need to be replaced.

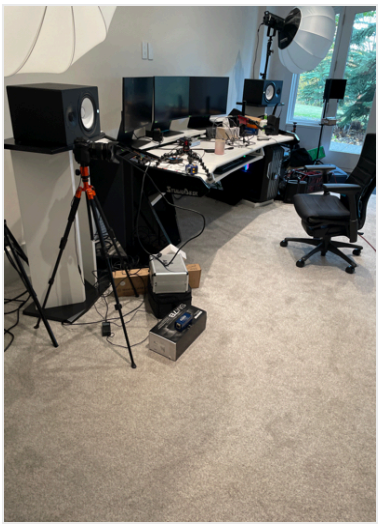
No Such Thing As Perfect Fixing nail pops on a small scale is easy for any do-it-yourselfer. However, if entire rooms have many nail pops, it may be time to completely replace the drywall & have it secured with drywall screws, not nails. If this is the case, call a drywall contractor.

Obstructions Page Items or conditions that hinder or block access and inspection of key areas, potentially concealing defects or issues.

Additional Obstructions

Additional Obstructions

Additional Obstructions



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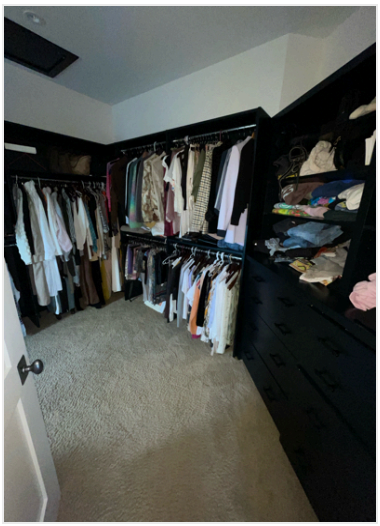

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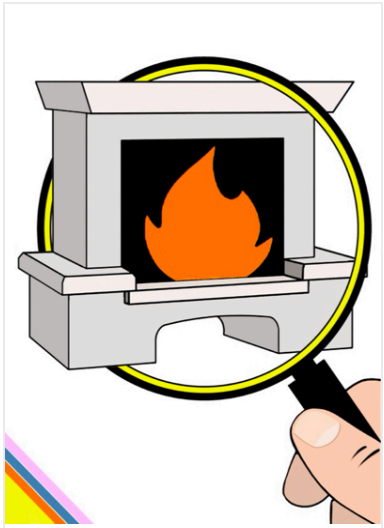
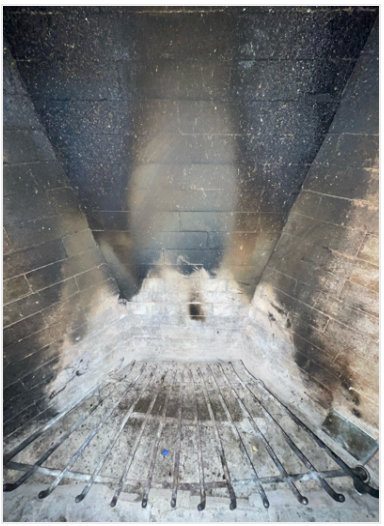


Wood Fireplace Page A heating structure that burns logs to provide warmth and ambiance in a room, often featuring a chimney for smoke evacuation.

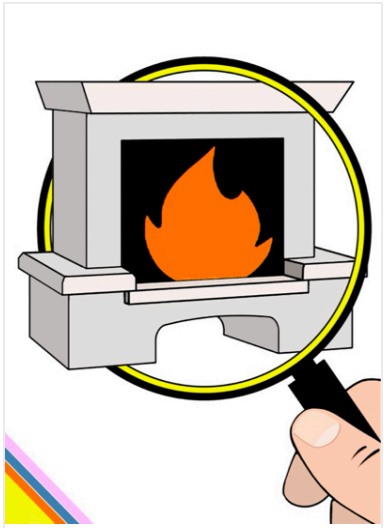
Gas Assist Ask seller for more information, unable to start gas assist today. No Key Found. Not Inspected



Inside Fireplace We always recommend having a certified WETT inspection done before sign off.

Fireplace Cleanliness Visually examined for common defects.

Natural Fireplace To help ensure that your fireplace continues to provide comfort in style for years to come, consider these best practices for fireplace maintenance. Clean the interior of the fireplace often. Install carbon monoxide nearby. Remove soot & creosote build-up. Check the chimney & its cap yearly. Use the right wood! It's NOT a recycler of plastic milk jugs. These are just a few tips to keep things safe & romantic! Wood Burning. Further Evaluate.



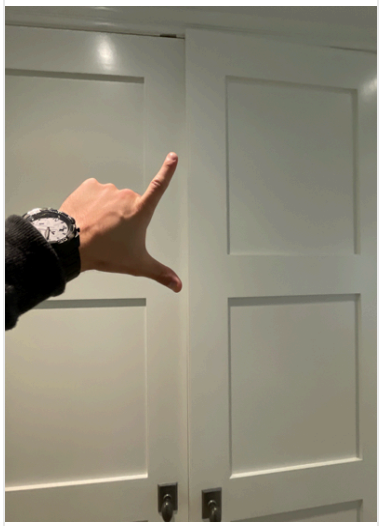
Basement Gas Fireplace Page An appliance that typically uses natural gas or propane to create a fire and provide warmth throughout the colder months.

Fireplace How lazy was the guy who came up with the name for "Fireplace?"

Fireplace Gas Valve For your records. Not Accessible. Not Inspected

Fireplace Glass Sometimes a pain to keep clean. Use only high heat fireplace glass cleaner (or like).

Fireplace Flame A healthy natural gas flame will burn primarily blue with a little bit of orange. If the flame is bright orange or the glass has a haze/dark staining this might be a sign that your gas fireplace needs servicing which should be done by a qualified technician.



Closet Door A number of doors were “snug” throughout the house, have these adjusted for smooth function. Rubbing / Sticking. Tune-up / Adjust.

French Doors Normal wear & tear can usually be fixed by simply adjusting the latch or hinges. Rubbing / Sticking. Tune-up / Adjust.

Home Audio For the BOOM BOOM. Outside our SOP's. Not Inspected

Support Photo In-home audio was not inspected as it is outside our governing SOP.

Carpet Textile floor covering. Bunching. Repair or Replace.

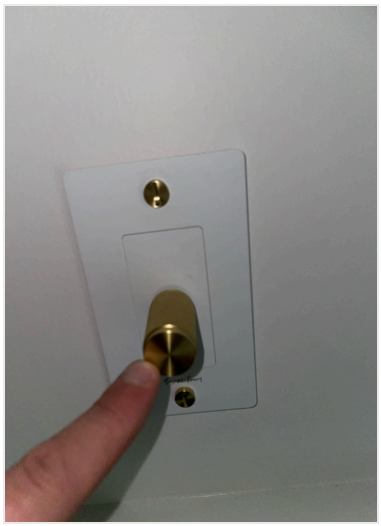
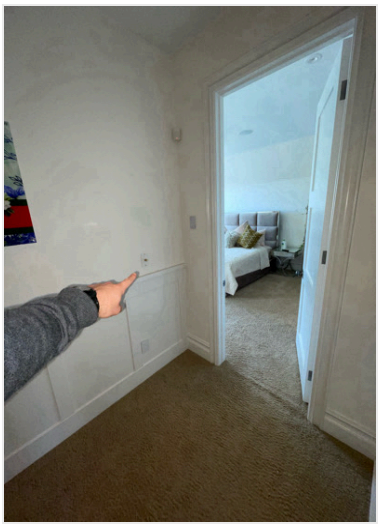
Support Photo

Window Sill For your records. Moisture Damage. Monitor/Replace.

Moisture Meter Moisture meter was used to confirm area was dry at the time of inspection. Monitor.

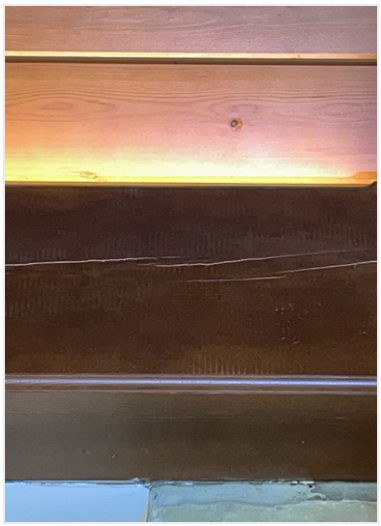
Shutters A type of air opening, usually covered by one or more moving flaps. Damaged. Repair or Replace.

Support Photo

Light Switch Dimmer function works. On/off does not stay. Poor Function. Further Evaluate.

Support Photo



Beam The structural element that primarily resists loads applied laterally. Cracks. Further Evaluate.

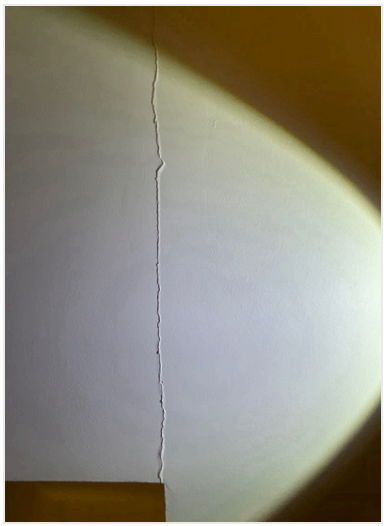
Posts Most commonly used as posts in the framing of houses, sheds, & many other structures. Cracked. Further Evaluate.

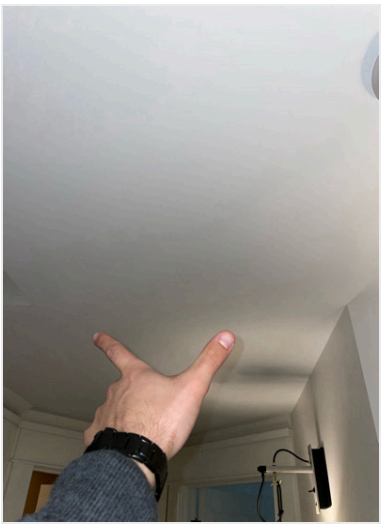
Screens Designed to keep the critters out! Missing. Install.

Support Photo A number of window screens were missing. Have these re-installed to avoid unwanted bugs & insects entering your home.

● **Window Pane** Visually examined for common defects. Cracked. Repair or Replace.

Support Photo

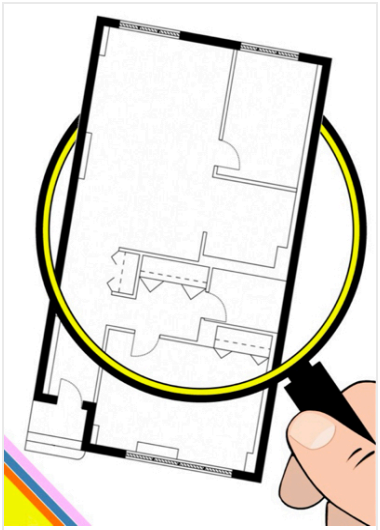




○ **Drywall Ceiling** Used to form & clad the interior walls of houses. Cracked. Repair or Replace.

Support Photo Basement ceiling. Cracks were seen on ceiling/drywall in a number of spots. May be cosmetic in nature or even signs of settlement.

○ **Office Gas Fireplace** How lazy was the guy who came up with the name for "Fireplace?" No Function. Further Evaluate/Service.



Guest House Interior Stuff

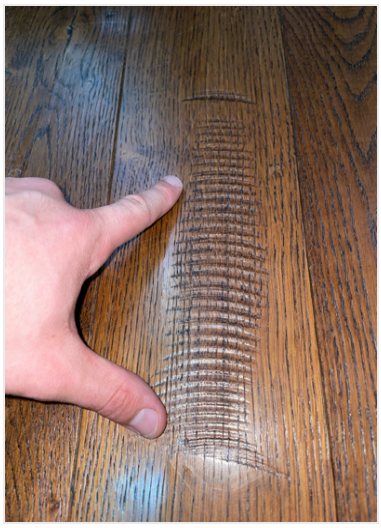
Interior Chapter You know, the inside space of the home, including rooms, hallways, and design elements, where daily activities & living occurs.

- **Interior Lights** A number of lights were flickering. Recommend replacing bulbs and confirming function of fixtures. Flickering. Replace Bulbs.

Outlet(s) Tested for anomalies.

Interior Door Normal wear & tear can usually be fixed by simply adjusting the latch or hinges.

- **Open Window** A representative # of doors & windows were checked for operation & blown seals. Missing Screens. Install.



- **Flooring** We're not here for flooring inspections, but we keep an eye out for significant issues. Damaged. Repair or Replace.

Suite Interior Wall If these walls could talk. One of the best ways to see how a home has been built & maintained.

Interior Notes It's natural to favor the more aesthetically-pleasing properties. However, cosmetic features are often decorative & trendy extras.

Instead, base your decision on the underlying features & value of the home. This includes elements like the plumbing, the wiring & the roof.

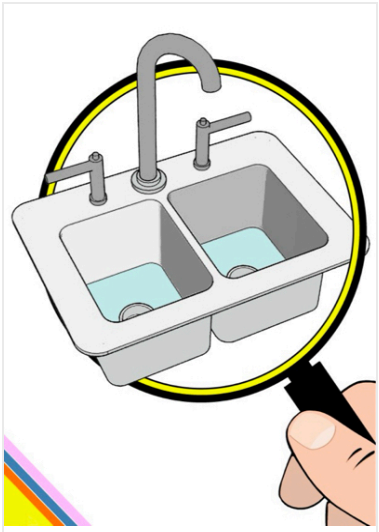
A lot of people have an unrealistic view of what the home buying process looks like— particularly if it's their first time buying a home or they have a past experience in which everything went swimmingly.

One of the biggest misconceptions is that homes on the market come in perfect condition. This sounds ridiculous when you say it out loud, but the truth is that many buyers expect pristine homes with brand-new features throughout. Hint: Unless you're building your own house, you aren't going to find an immaculate property. The reality is that every home on the market needs some work. The key is to know how much work is needed & be honest about what you're willing to take on.

"Don't just buy a home with your eyes— buy it too with your mind."

K

BACK TO SUMMARY



About Kitchens

Kitchen Cabinets A Place for your dishes. These can usually be leveled out by adjusting the hinge screws. Don't overdo it!

Cabinet Hinges We recommend cabinet tune-ups for alignment & function as required. 1/4 turn at a time.

The Fridge ALL Appliances were tested for operation & should be rechecked for condition & function on the day of possession.

Dishwasher Empty your plate first! Turned ON & OFF after a quick cycle.

Stovetop Checked for operation. Turned ON & OFF

The Oven Bake & broil functions were both tested on both sides of the oven. All functioning today.

Stove • Oven Off Turned ON & OFF after testing for functionality.

Dishwasher OFF Turned ON & OFF after cycle. We usually leave it slightly ajar to ventilate. This is really for our records.

Microwave Nuke It! Be sure to ask for documentation/manuals on all appliances.

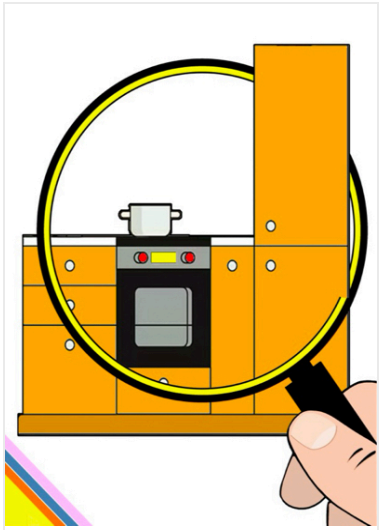
The OTR • Hood Fan We don't spend too much time running these... Just on & off for a couple of minutes to check for functionality.

The thing about cooking, especially frying & grilling, is that it can kick up a lot of smoke, grease, & lingering food smells. A range hood helps keep the air in your kitchen clean. These appliances come in several different models, some more effective than others.

The Kitchen Sink Sink & P-traps inspected for leaks & “snugness." Often times chemicals & other cleaners can break down seals, so please consider using only natural products when cleaning.

Kitchen Drain Basket The removable part that plugs the drain. The strainer catches large chunks to prevent clogs. The basket flange goes on the inside of the sink & the rubber gasket, pressure cup & nut are under the sink.

Kitchen P-Trap P-traps are part of your sink plumbing. Found under kitchen & bathroom sinks, these question-mark-shaped plumbing pieces serve an important purpose… What Does a Plumbing P-Trap Do? a. Trap debris & prevent clogs b. Protect against property losses c. Stop sewer gases from infiltrating your home All Traps were physically touched for the presence of moisture & stability.

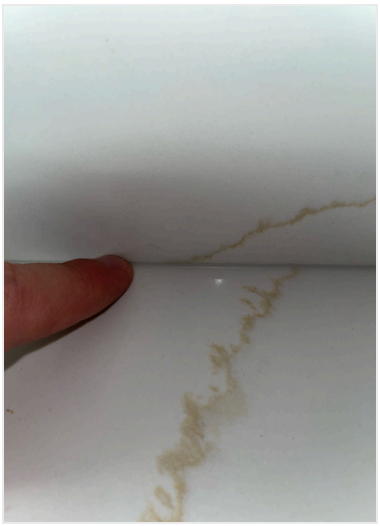


Kitchen Extras Inspected under notmal operating procedures.

Backsplash Protects the drywall from splashes. Keep gaps sealed!

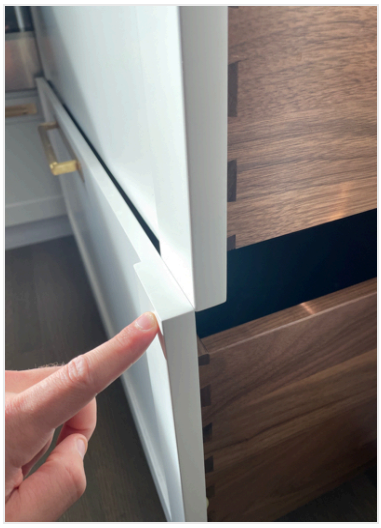
Kitchen Outlets Tested for anomalies.

- **Kitchen Windows** Both kitchen window screens were missing. Have these re-installed to avoid unwanted bugs & insects entering your home. Missing Screens. Install.



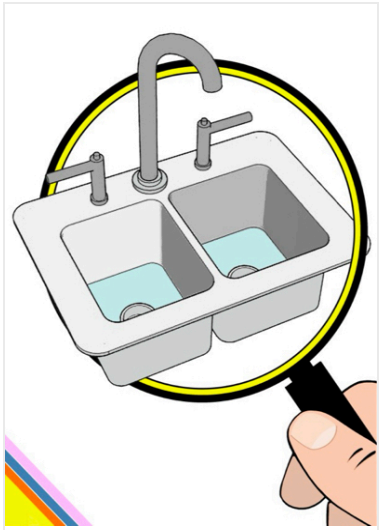
Counter Top For your records.

Caulk • Sealant Used to seal joints or seams against leakage in various structures & piping.



- **Kitchen Drawer** Visually examined for common defects. Rubbing. Tune-Up/Adjust.

Support Photo



Bar Page Your own spot to relax, mix drinks and hang out. Bonus: no closing time!

Bar Outlet(s) Tested for anomalies.

Bar Sink Generally, some mild soap & nylon sponge or soft rag works great for daily cleaning.

P-Trap Inspected under normal working conditions.

Bar Fridge For your records.

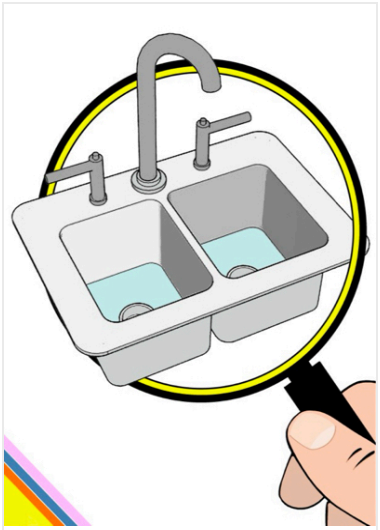
Inside Fridge For your records.

Ice Maker Not plugged in today. No Function. Further Evaluate.

Microwave Nuke It! Be sure to ask for documentation/manuals on all appliances.

Basement Bar Sink P-Trap P-traps are part of your sink plumbing, these question-mark-shaped plumbing pieces serve an important purpose... Active Leak. Repair or Replace.

Support Photo Appears to be leaking from the sink drain pipe.



Guest House Kitchen Stuff

About Kitchens Where people tend to gather when hungry or during house parties.

- **Kitchen Cabinets** A Place for your dishes. These can usually be leveled out by adjusting the hinge screws. Don't overdo it! No Handles. Install.

- **Outlet(s)** Tested for anomalies. No GFCI. Improve.

The Kitchen Sink Often times chemicals & other cleaners can break down seals, so please consider using only natural products when cleaning.

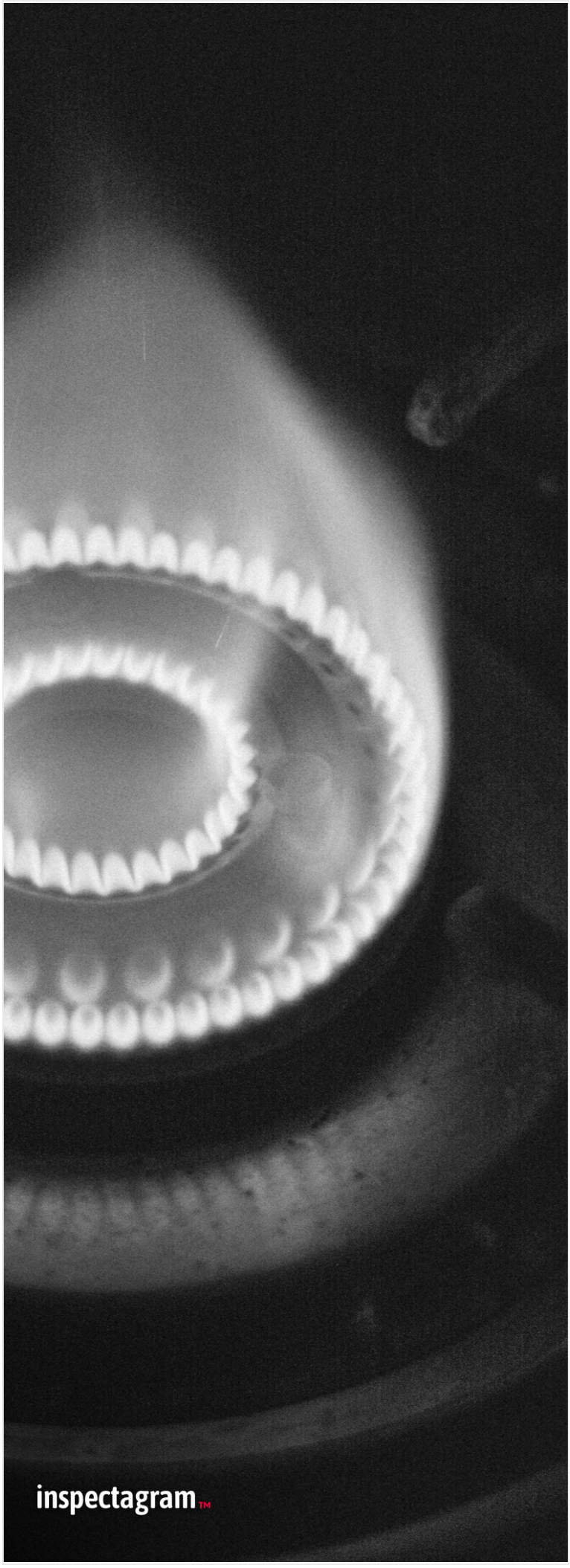
- **Suite Kitchen P-Trap** Signs of past leak observed. Plumbing was filled and stress tested with no active leaks today. Monitor this area moving forward. Signs of Past Leak. Monitor.

Fridge Your fridge may look boring. But actually, it's pretty cool.

Dishwasher Empty your plate first! Turned ON & OFF after a quick cycle.

- **Grout** Generally a mixture of water, cement, & sand used to fill gaps & seal joints. Keep it clean! Depetion. Repair or Replace.

Support Photo



What's Cooking? If you're like most people, the kitchen is one of the busiest rooms of your home. It's probably not surprising, then, that the kitchen can also be one of the messiest.

To keep your kitchen safe, healthy, & inviting, come up with a cleaning routine that helps you tackle & prevent grime.

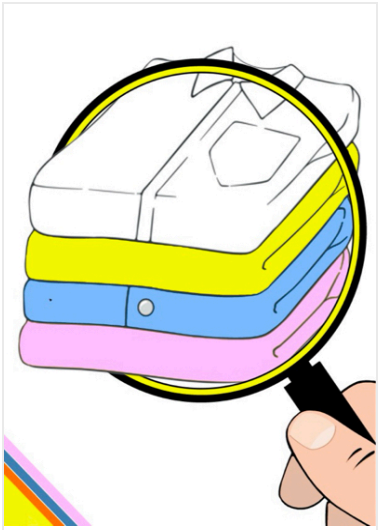
Putting the trash out keeps your kitchen fresh & prevents bacterial growth. Messy counters take up workspace & can be hazardous. Wash the inside of your sink & faucet every day to remove bacteria.

Sweep your floors daily & mop once a week. Toss old food, clean the seal & sanitize the fridge shelves. The dishwasher also needs love from time to time (as in, clean the filter!)

Keep a small fire extinguisher in your kitchen. Put out cooking fires before they have a chance to spread. Don't have a fire extinguisher yet? Put out kitchen grease fires by covering the container with a metal lid. This starves the fire of oxygen, so it goes out.

L

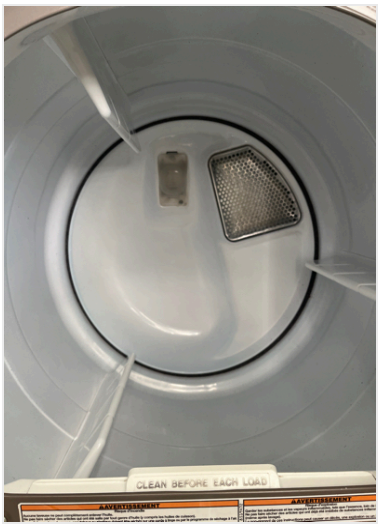
BACK TO SUMMARY



Wash, rinse & repeat The most memorable days usually end with the dirtiest clothes.

Laundry Washer Run for a quick cycle & turned OFF. Sometimes we leave the lid ajar to ventilate.

Inside The Washer Even though it's constantly washing, this will need a thorough clean every now & then.



Laundry Dryer Run for a quick cycle.

Inside The Dryer This will also need a cleaning every once in a while. Remember to change the lint filter.

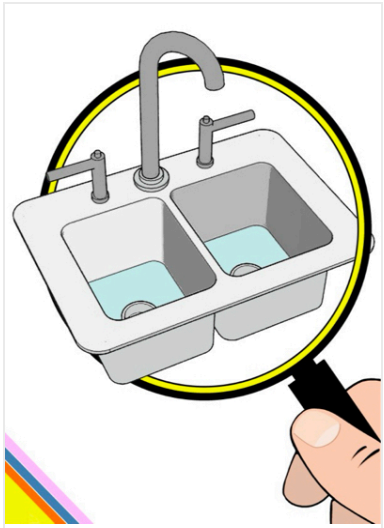
Laundry Exhaust Line These guys sometimes become detached. Have a peek every now & then. Not Accessible. Not Inspected

Dryer Lint Trap Lint-filled air passes through a removable wire mesh as it exits the machine to the dryer vent.

Laundry Washer Drain Hose Monitor to ensure this remains secure. Not Accessible. Not Inspected

Laundry Water Lines We like to see hammer arrestors with HE appliances. Not Accessible. Not Inspected

Water Hammer Water hammer is a hydraulic shock that occurs when the flow of water is suddenly stopped or changed direction.



Laundry Sink Page

Laundry Sink Rugged, large-capacity basin used primarily for cleaning or soaking.

Sink Drain(s) Inspected for deficiencies using normal operating procedures.

Laundry P-Trap A U-shaped pipe under the sink that traps debris & stops sewer gases from passing into the home.

Plumbing Shut-Offs For your records.

2nd Laundry Room Washer Run for a quick cycle to determine functionality & examine for leaks.

2nd Laundry Room Dryer Tested for functionality.

Wash. Dry. Fold. The laundry room is an all-too-familiar place that rarely sees many changes, & the containers of detergent that turn your piles of dirty laundry into stacks of clean clothes are just one part of the equation.

When you're spending countless hours doing nearly 300 loads of laundry per year, there's more you should consider than which color baskets to buy.

Wash only full loads & place similar items together. Depending on the type of washing machine, you're using anywhere from 13 to 40 gallons of water each time you wash a load of clothes.

Check the temperature. Did you know nearly 90 percent of the energy used to operate a washing machine is spent on water heating? You could save a lot of energy by washing your clothes in cold water.

Inspect hoses & filters. Hoses connect to a washer. Take a few minutes every so often to inspect your hoses. If there are any unusual cracks or bulges, it's time for a replacement.

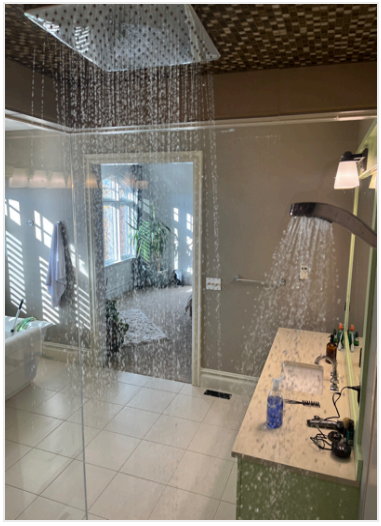
B

BACK TO SUMMARY

Bathroom health Due to water, steam & grime, your space can become home to bacteria, fungus, & unwanted odors (gross but true).

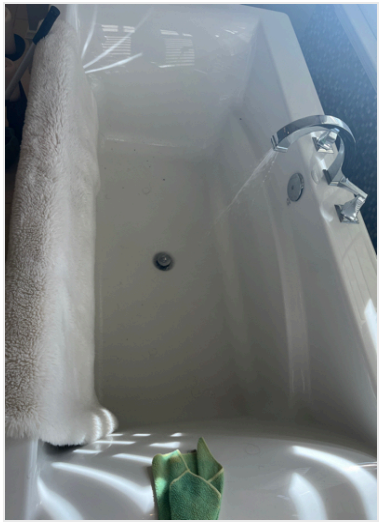
The Bathroom GFCI This device shuts off an electric power circuit when it detects a current flowing along an unintended path. Primary Ensuite Missing Cover. Replace.

Toilet Paper Test Bathroom fans should run 30 minutes after every use. Timed switches make this easy not to forget.



Shower Head Silicone & seal all valves below the shower head. This will need upkeep over the years.

The Tub Filler Routinely clean all nozzles & aerators. ALL water sources tested HOT & COLD. Primary ensuite. Poor Function. Descale, Reevaluate.



The Tub All lavatory components were operated & visually inspected for leaks, caulk depletion & other visual defects.

The Hair Catcher When hair accumulates in your lines, it can create nasty clumps that slow your drains down drastically.

Bathroom Faucet(s) Faucets, tub fillers & shower heads were fully tested & run for a significant amount of time.

Faucet Aerator These create a non-splashing stream, delivering a mixture of water & air. CLR, to prevent build-up.

Sink Drain(s) Inspected for deficiencies using normal operating procedures.

Bathroom P-Trap Built to keep the gases from entering back into your home. Examined for leaks & lightly touched for snugness.

Toilet The Loo. Toilets & tanks were checked for stability & flush tested 3X.

Toilet Flushing Flush it away. Please check operation again on your next visit or at possession.

Toilet Water Line

Overflow Drain(s) Without an overflow drain, you might rush into the bathroom to find water spilling onto the bathroom floor, soaking everything in sight. Where does the water flow? Water enters the tub overflow hole & immediately drops down a pipe. This same pipe connects to the tub floor drain; overflow water travels the same path as the water that usually drains from your tub. Tested by filling the basin or cupping for a couple of minutes, then examining the floor below with a thermal or a moisture meter.

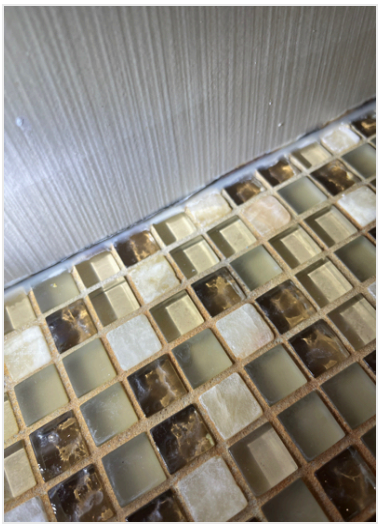
Overflow Sink Drain These help the forgetful & can possibly prevent a flood.

Drain Stopper Would not stay closed. Lever appears to be too heavy Poor Function. Repair or Replace.

Support Photo Primary ensuite.

Shower Door Seal Above, below or between. This keeps water in... & off the floor. Deterioration. Repair or Replace.

Support Photo Primary ensuite



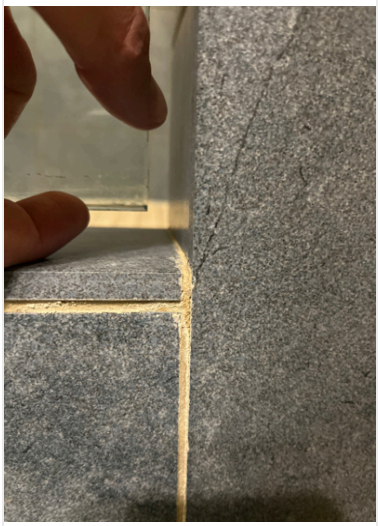
Shower Tile Visually examined for common defects. Possible Microbial Growth. Cleanse.

Support Photo Primary ensuite

Window Improve humidity management. Moisture Damage. Repair or Replace.

Support Photo Crank Unsecured

B



Second Ensuite Bathroom

Shower Door Seal Above, below or between. This keeps water in... & off the floor. No door seal on bottom or sides Missing. Install.

Shower Head Silicone & seal all valves below the shower head. This will need upkeep over the years. Small Leak. Repair or Replace.

Support Photo

Wood Trim Outside shower Moisture Damage. Repair or Replace.

Support Photo Moisture meter indicated area was dry at time of inspection. Monitor

Bathroom Caulk Seal all necessary gaps around tubs, showers & sinks. Missing . Seal.

Light Fixture Visually examined for common defects. Missing Bulb. Replace, Confirm Function.

B

Upper Shared Bathroom

- **Bathroom Fan** Draws out stale, impure & very humid air thereby improving the quality of indoor air. Staining. Further Evaluate.

- **Skylight** A window to the stars. Keep on top of ventilation & good airflow to prevent condensation. Moisture Damage. Improve.

Support Photo Moisture meter indicated area was dry at time of inspection. Monitor

- **Wood trim** Used for protection & beautification, it runs between the floor & the wall. Moisture Damage. Repair or Replace.

Support Photo Moisture meter indicated area was dry at time of inspection. Monitor

- **Tub Shower Diverter** Used to redirect water. Poor Function. Descale.

- **Shower Head** Silicone & seal all valves below the shower head. This will need upkeep over the years. Poor Function. Descale.

Main Level Bathroom GFCI Note that GFCI reset is in upper shared bathroom Missing Screw. Replace.

Main Level Bathroom Door Frame This is the entire framework supporting the door, including the sill, jamb & head. Cosmetic Damage. Improve.

B

Basement Ensuite Bathroom

- **Door Lock** For your privacy. This should be "snugged up" every couple of years. Poor Function. Repair or Replace.

- **Wood trim** Used for protection & beautification, it runs between the floor & the wall. Moisture Damage. Repair or Replace.

Support Photo RISK reading. This could possibly be a misread due to proximity to tile or metal components behind baseboard. Monitor

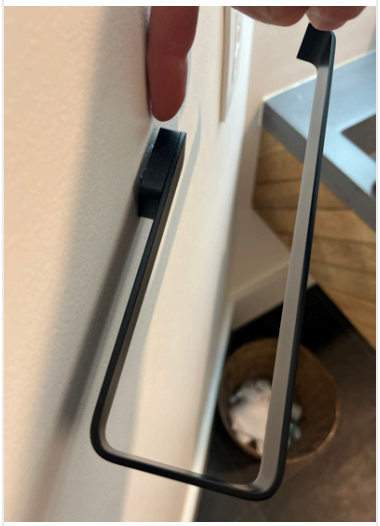
- **Tub Diverter** This reroutes the water between the faucet & the wand. Sometimes they can get a little sticky. Drip. Deacale.

- **Shower Head** For your records. Poor Function. Descale.

- **Toilet Paper Holder** Just roll with it... Missing Component. Replace.

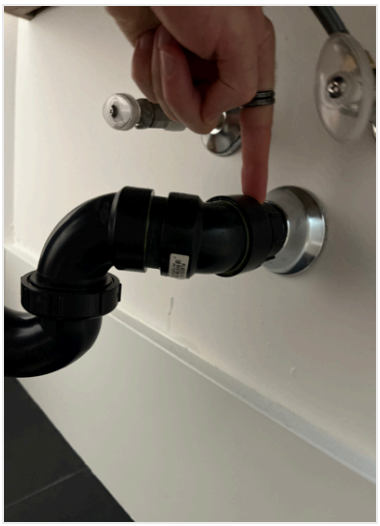
- **Drawer** A compartment made to slide horizontally in & out of a cabinet or built-in furniture. Rubbing. Improve.

B



Basement Shared Bathroom

Towel Bar The 2nd best option to the floor... Unsecured. Secure.



P-Trap P-traps are part of your sink plumbing, these question-mark-shaped plumbing pieces serve an important purpose... Unsecured. Secure.

Support Photo

Bathroom Sink Filled & tested for functionality. Evidence of Past Leak. Monitor.

Support Photo Did not appear to be leaking at time of inspection

Bathroom Fan Draws out stale, impure & very humid air thereby improving the quality of indoor air. Unusual Sound. Further Evaluate.

Mystery Switch Could Not Determine Function. Request Disclosure.

Steam Page

Steam Generator This will usually require annual descaling based on usage. Request Disclosure. Could Not Determine Function. Not Inspected

Steam Thermostat Responsible for monitoring the environment inside the steam shower. No Function. Request Info/Further Eval.

Steam Thermostat OFF This is really just for our records.

Steam Nozzle This is where the steam comes out...An essential oil can give off a pleasant smell during the steam output process when dripping a few drops of your favorite stuff!

Steam Shower Safety measures you should take. NO alcohol & steamy! The high heat can increase your risk of dehydration. Don't go while you're sick. The warmth and moisture of steam rooms can help bacteria grow. -Doctor Home Inspections

Guest House Bathroom Page A room in a home used for personal hygiene activities such as bathing, grooming, and using the toilet.

Toilet Inspected for deficiencies using normal operating procedures.

Bathroom Faucet(s) Clean aerators often to prevent build-up.

Sink Drain(s) Inspected for deficiencies using normal operating procedures.

Shower Head These deserve a good clean every 3 months or so, depending on use.

The Hair Catcher When hair accumulates in your lines, it can create nasty clumps that slow your drains down drastically.

GFCI Electrical protection from shock if a powered appliance contacts a water source. "A life saver."

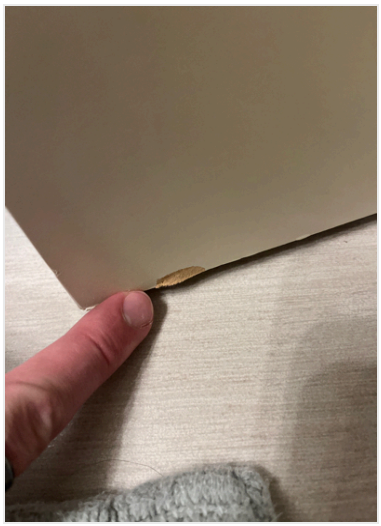
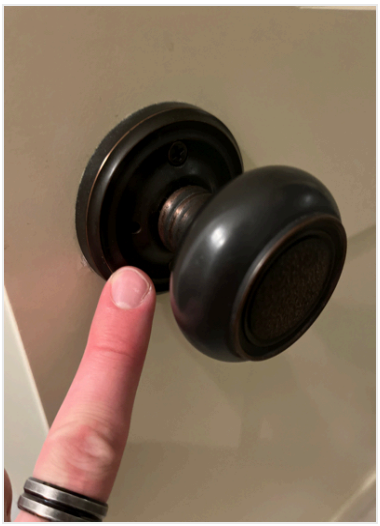
Ceiling Defuser Keep them clean & clear of debris for proper airflow. Staining. Monitor.

Light Fixture Flickering, buzzing sound, missing bulb Poor function. Further Evaluate.

Support Photo No function

Vanity Consider using a bin for your liquids Staining. Improve.

Support Photo

Door Visually examined for common defects. Damage. Improve.

Support Photo No lock. Replace as desired

Tile For your records. Grout Deterioration. Improve.

Support Photo

Best Seat In The House Even before indoor plumbing folks understood that outhouses needed ventilation.

When bathrooms moved indoors, ventilation was required not just to remove odors but also to exhaust excess moisture.

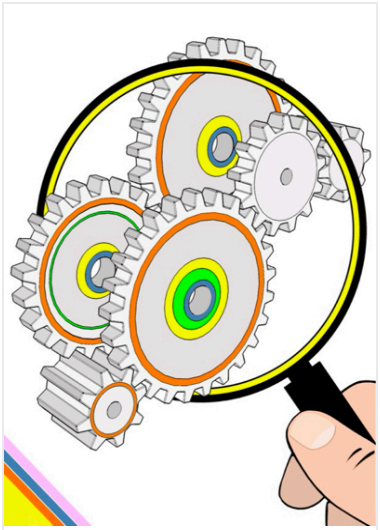
We all know how much moisture can be produced by taking a hot shower, just think about the fogged mirrors & the condensation that forms on windows & walls, especially when it's cold outside. Bath fans are sized according to the volume of air they can move, measured in cubic feet per minute, or cfm. The rule of thumb is that you need 1 cfm for every square foot of floor area in the room.

It's smart to err on the high side, especially in a bathroom that gets heavy use or one with a high ceiling. Better fans are engineered to run quieter than low-priced versions.

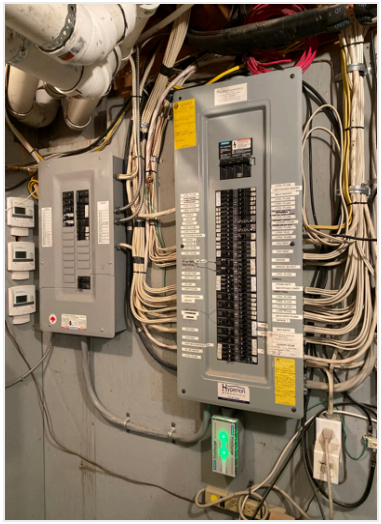
Finally, don't forget: Bathroom fans should be left running for at least 20 minutes after each shower. This will ensure that all of the humidity is cleared out of both the room & the ventilation ductwork.

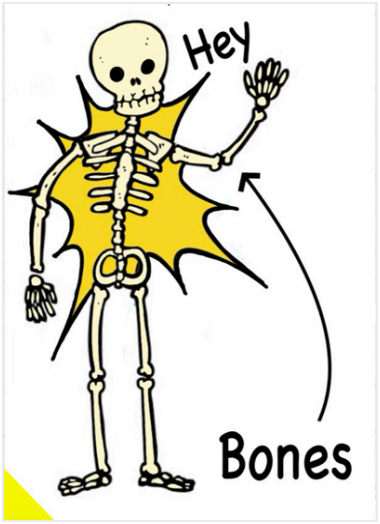
M

BACK TO SUMMARY



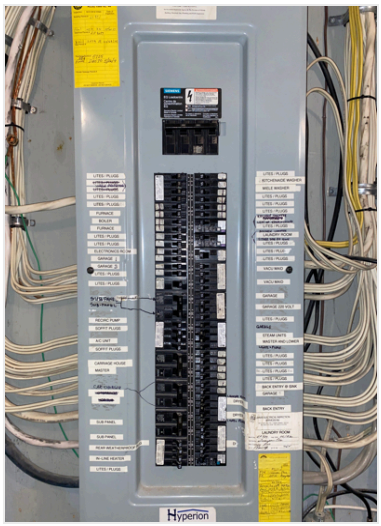
Mechanical info The Engine Bay. This room is dedicated to critical mechanical features that run your entire home.

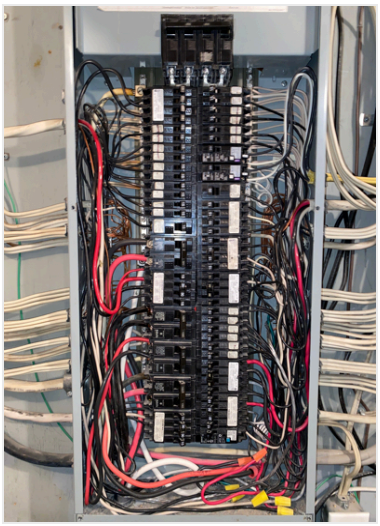




FYI Panel Clearance requires a clear area for access & work that is (30”) wide, (36”) deep, & (78”) high. Depending on where you live.

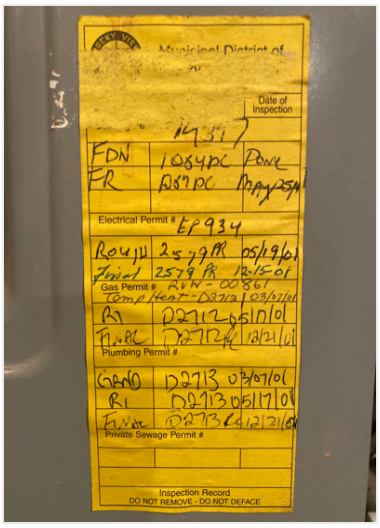
Electrical Safety Main & sub panel boxes should always be secured & worked on by certified tradespeople.





The Electrical Panel Familiarize yourself with the breakers. The main panel was full, good thing you have some sub panels.

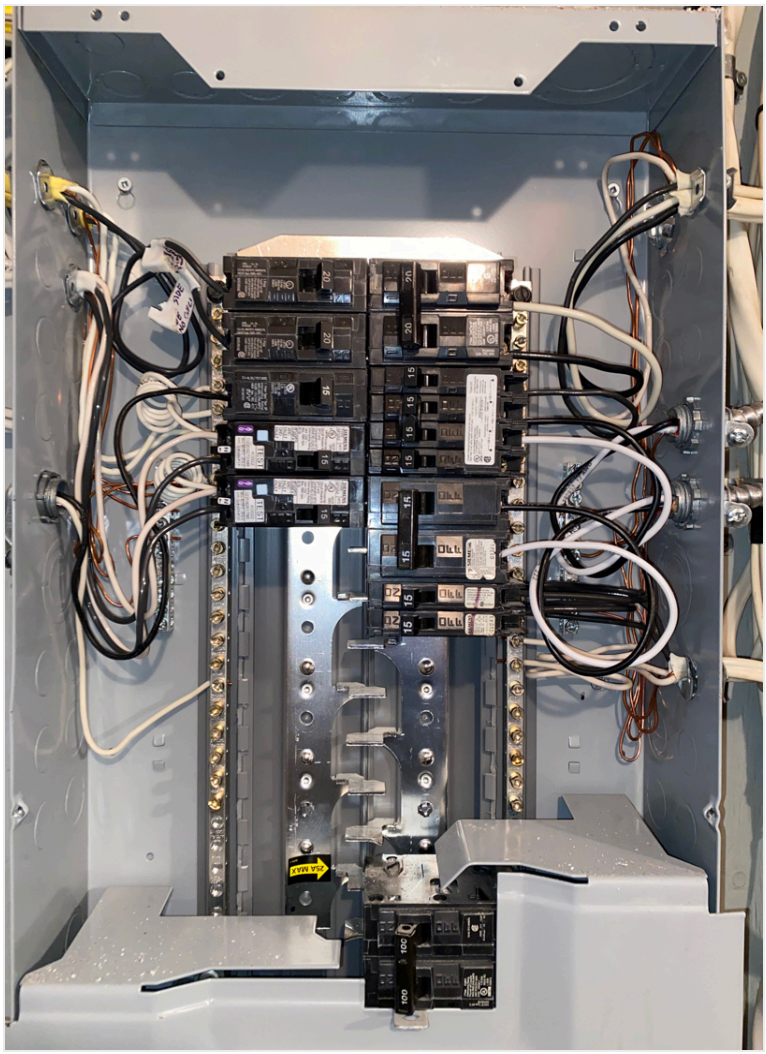
Inside Electrical Panel Visually examined for common problems like 2ble taps, splices, type of wire, loose breakers & more...



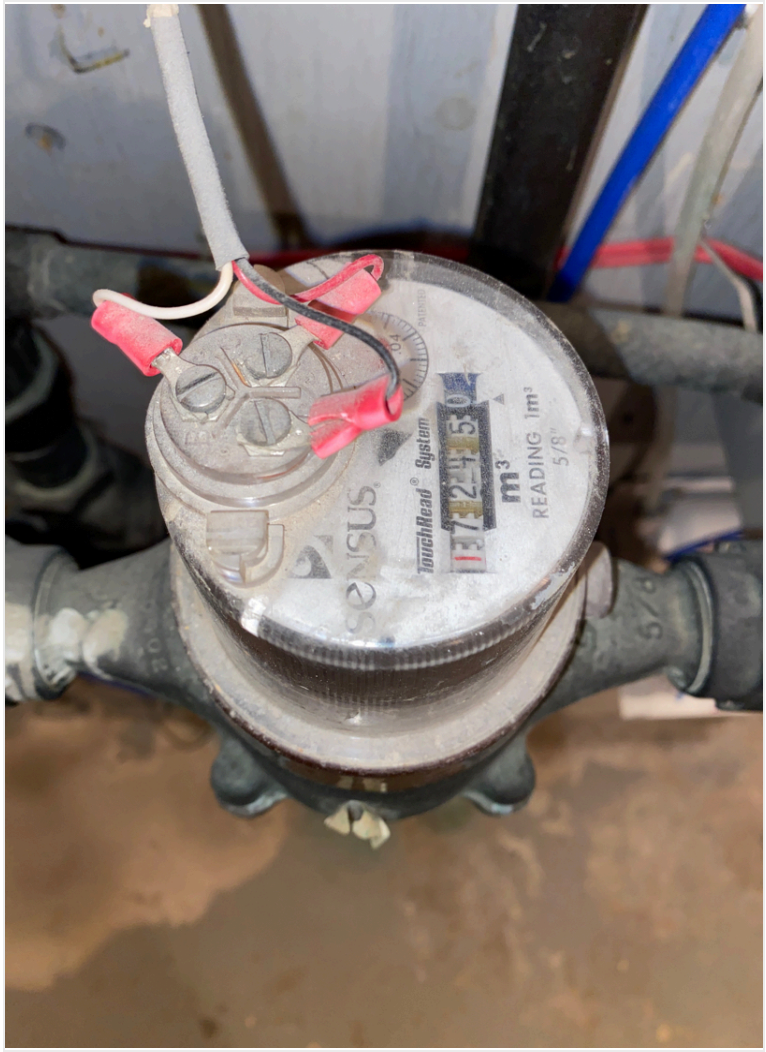
The Main Breaker Generally, this will shut down everything! Designed to interrupt a large amperage load. 200amp.

Labels & Stickers See Photo.

Sub Panel These are smaller service panels that distributes power to a specific area of the home.



Inside Electrical Panel PLEASE, never remove the panel cover to access the breaker. Leave this to the pros.



What does a water meter do? Water meters are essential in conserving water & saving money on your water utility statement. A water meter is a mechanical device connected to your water connection & only registers consumption when water is used. There are no electric components inside a water meter. Meters are usually installed just above the main water shutoff valve in the home & most water meters have a transmitter that is remotely read for billing purposes.

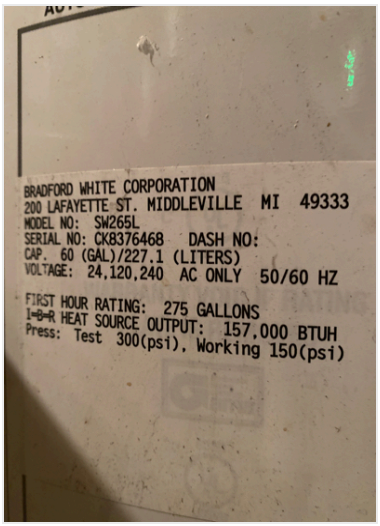
The Water Main Shutoff Nobody is expecting you to fix plumbing problems, but the ball is largely in your court to prevent problems. The main water shutoff valve allows you to shut off the water supply in your home. You may want to do this in several situations, such as: 1. In a plumbing emergency 2. When you are upgrading components of the water system in your home. 3. You will be spending an extended period away.

Exterior Water Shutoff Valves These should be turned off & bled in the winter months to prevent potential problems in the spring. Missing Valve Handles. Replace.

The Water Lines Main visible water lines that could actually be seen throughout the inspection.

The Sewer Line We're usually very limited on what we can see here besides showing you the material.

Main Drain Usually only 1 per home. New or old, we always recommend having the sewer scoped to look for things like obstructions & more...



Hot Water Storage Tank Life expectancy of a water tank is about 8-12 years from new. Age (~18 years). Budget for replacement.

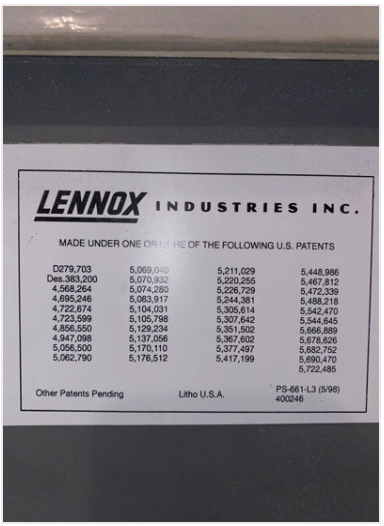
Hot Water Unit Data Plate This usually contains model & serial #. It also contains the birth date & other important info. Manufactured 2006.

Circulation Pump Visually examined for common defects.

TPR Temperature-Pressure Relief Valve. Designed to auto-release water if pressure or temp in the water tank exceeds safe levels.

Water Supply/Return Shutoffs Here for servicing. Staining. Service Advised.

Heating Unit Filters Change filters upon possession, then once every three months. We prefer the cheap filters! Also recommend having a furnace & duct clean Dirty. Replace.



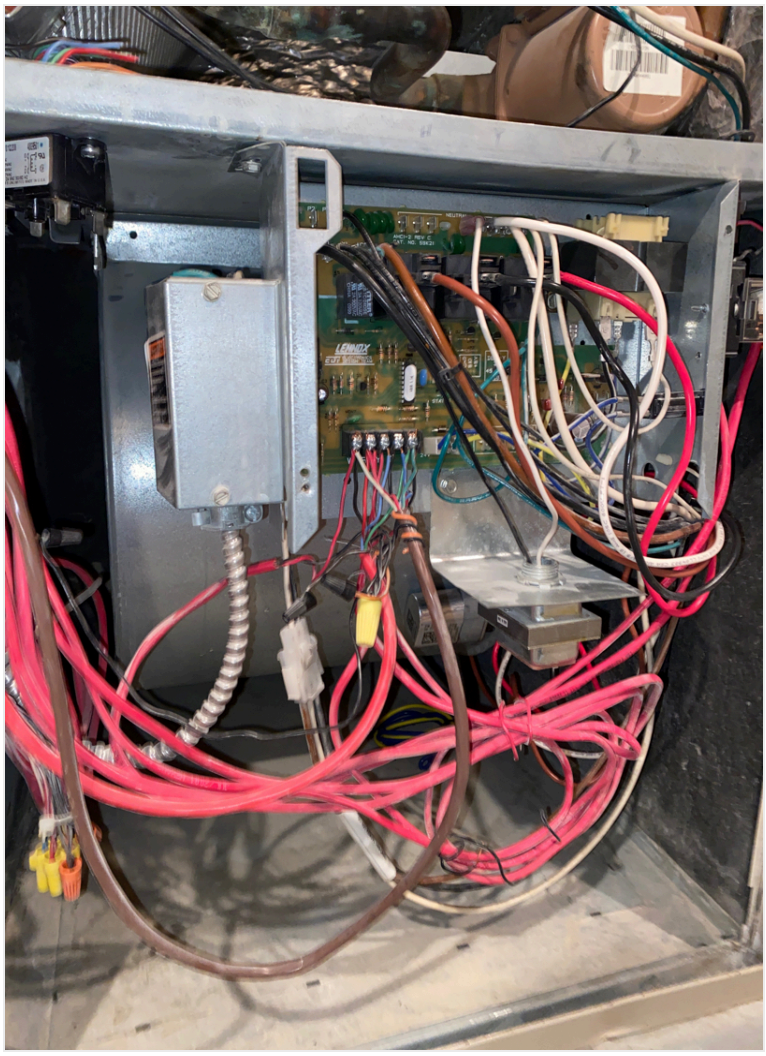
Main Heating Unit Run for the majority of this inspection. A thorough clean & precision tune-up is always recommended.

Heating Unit Data Plate A small metal or sticker plate that provides key information about a home's heating system. Unable to confirm age from data plate

Hydronic Furnace Hydronic air handlers take the heat from hot water & transfer it to a forced air duct.

Inside Heat Source Under the Hood. Regular HVAC maintenance reduces the risk of costly breakdowns by as much as 95%.

You wouldn't drive your car for 30,000 miles without getting an oil change; you'd be asking for trouble. This analogy holds for true for all HVAC systems.



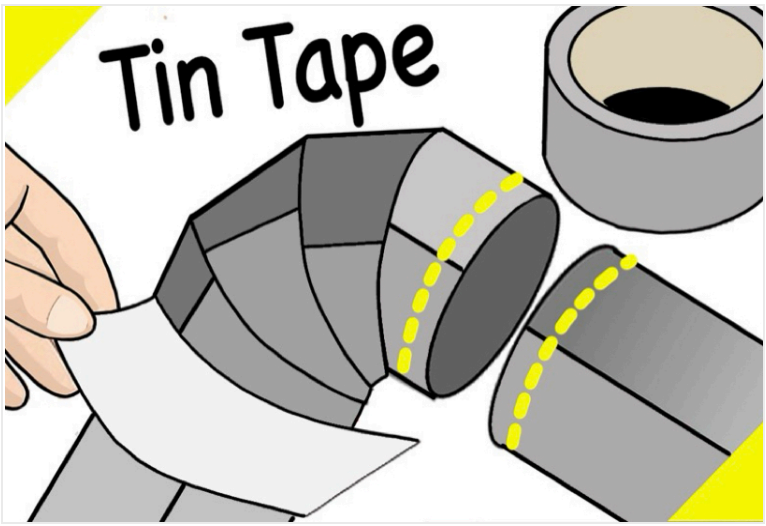
The Main Furnace Blower Fans use electricity to circulate air heated by the heat source through a home's duct system into the living space. The fan also circulates cooled air during the cooling season for homes with central air conditioning. A professional should clean the blower assembly on your heat source at least yearly. Cleaning the blower assembly is critical because the openings on this type of unit tend to become clogged with dust & dirt. Rattling. Service Advised.

Heating Unit Shutoff Used to disconnect the power. Required as a "disconnecting means" within sight of the unit.

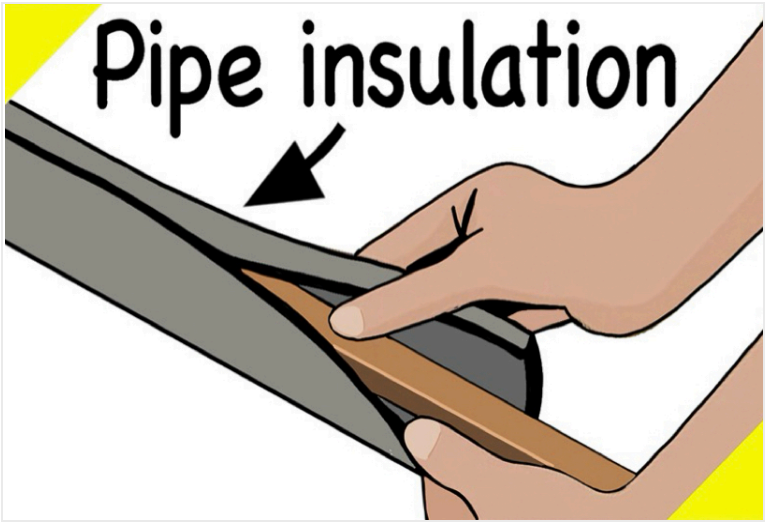
Heating Unit Shutoff Cover A cover plate is recommended. Why? Because it will prevent people from turning these off by accident.

The Main Humidifier Humidifier filters should be changed or cleaned every six months. Sometimes you can get away with just cleaning them.

Benefits of A Humidifier Moisture-loving houseplants may become more vibrant, & wood floors or furniture may last longer.



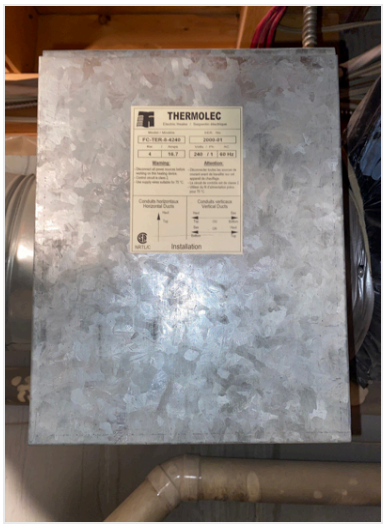
Tin Tape This tape is pretty tough, so it can be used in a range of temp settings-HOT or COLD. This kind of tape is commonly used to secure seams, connections, & joints of ducts, allowing air to get to where it's gotta get to more efficiently.

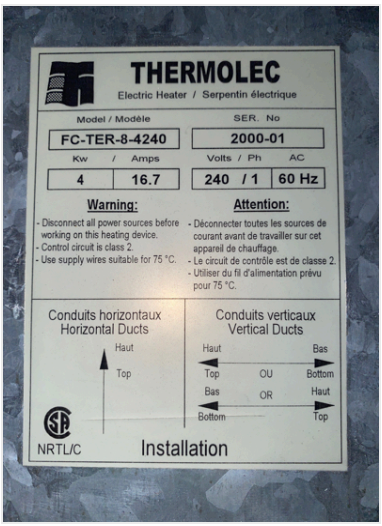


Pipe Insulation Tip Overall, adding insulation to your pipes reduces the risk of freezing, reducing the need for expensive repairs. In the end, your house is safer, a loss of hot water does not inconvenience you, & repair fees do not suddenly cut your budget.

Humidistat This automatically regulates the humidity of the air.

Humidifier Water Shut-off These can be left partially closed to help reduce water waste.

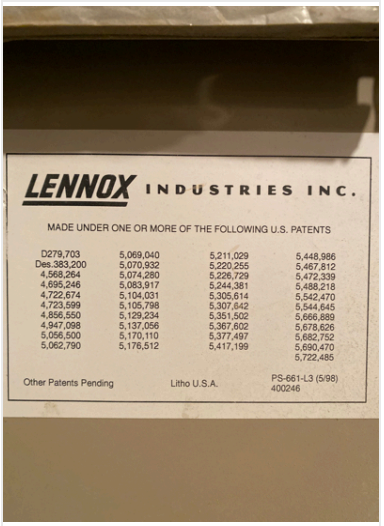




Furnace Fresh Air Intake Heater Pre-heating fresh air through an open duct before use at a mechanical room appliance.

Support Photo

Central Vacuum Nothing inspires cleanliness more than an unexpected guest. Confirm function. Outside our SOP's. Not Inspected



2nd Floor Furnace Page Second furnace in the house.

Furnace Data Plate This usually contains model & serial #. It also contains the birth date & other important info. Unable to confirm age from data plate

Hydronic Furnace System This heats the liquid in its system, distributes it through tubes, & radiates the heat.

Furnace Filter This protects parts like the blower from debris & particulates & should be changed often.

Inside Heating Unit Visually examined for common defects.

2nd Floor Steam Humidifier Maintenance on these consists of replacing the steam cylinder.

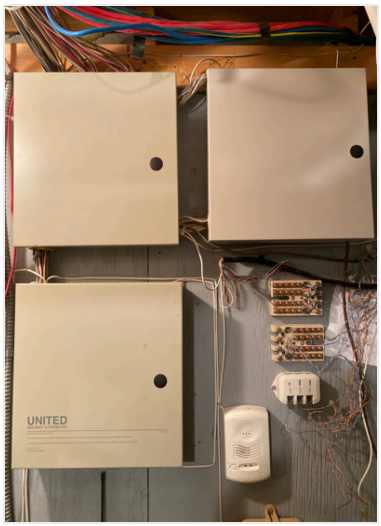
Support Photo

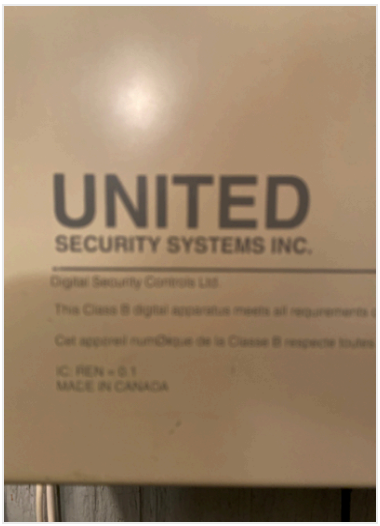
Plumbing Drain/Vent line Above 2nd floor furnace. Staining. Monitor/Repair.

Support Photo

Low Voltage Anything with 50 volts or less is considered low voltage. Includes communications, audio/visual, security, entertainment, etc. Outside our SOP's. Not Inspected

Support Photo



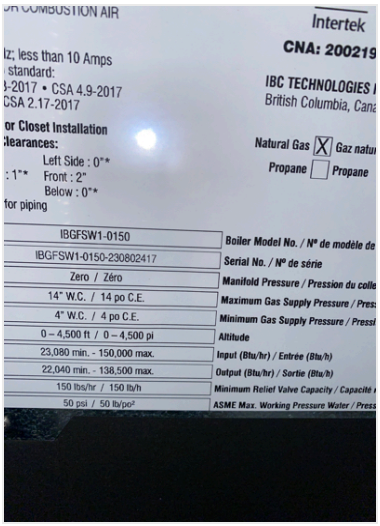


Security System A method by which a building is secured through a system of interworking components & devices. Outside our SOP's. Not Inspected

Support Photo

Boiler 1 (left) This manages the temperature of liquids circulating through an exchanger.

Support Photo

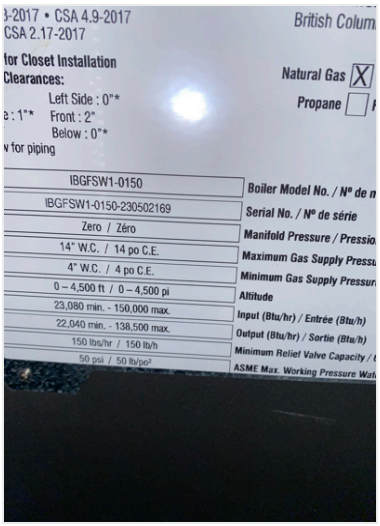


Boiler Controls Visually examined for common defects.

Boiler Data Plate This usually contains model & serial #. It also contains the birth date & other important info. Unable to confirm age from data plate

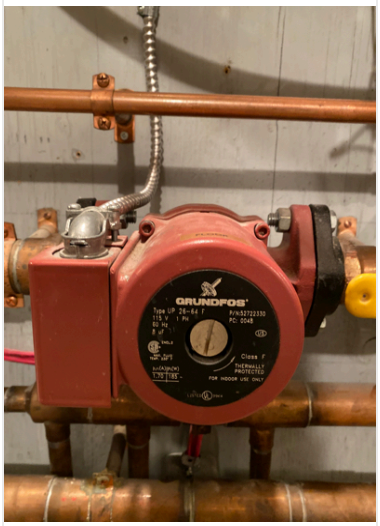
Boiler 2 (right) This manages the temperature of liquids circulating through an exchanger.

Support Photo Inside boiler.



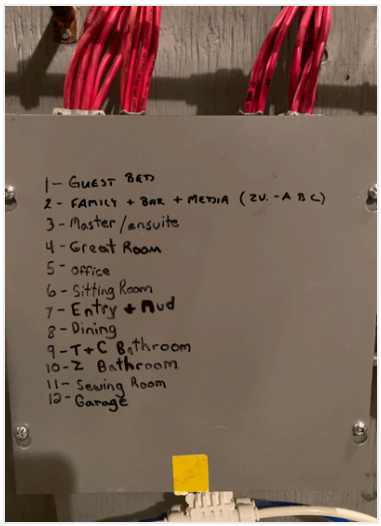
Boiler Controls Visually examined for common defects.

Boiler Data Plate This usually contains model & serial #. It also contains the birth date & other important info. Unable to confirm age from data plate



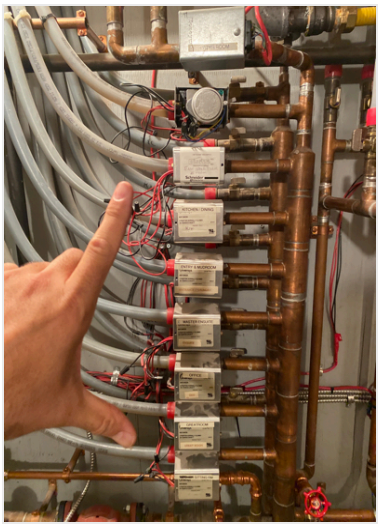
Circulation Pump Visually examined for common defects.

More Pumps Visually examined for common defects.



Zone relay

Hydronic Zone Valve A specific type of valve used to control the flow of water or steam in a hydronic heating or cooling system



Hydronic Manifold The central place where water is distributed into pipes & sent through the radiant system. Basement.

Support Photo Upper levels.

Expansion Tank Used to protect excessive pressure.

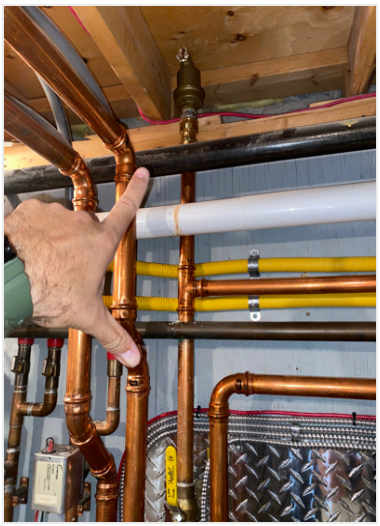
- **Hydraulic Separator** Visually examined for common defects. Leaking Fitting. Maintenance Required.

Hydronic Zones: upper levels Entry/Mudroom thermostat was finicky & would not turn up high enough to test. Service system & confirm function. No Function. Further Evaluate.

Support Photo Zone valve missing cover/label, suspected upper spare/kids ensuite showed no function. "Sewing Room" may not be connected. Further eval

Hydronic Zones: basement Could not find thermostats for the basement Games & Media rooms. Could not confirm function of these zones. No function. Request Info/Further Eval.

Support Photo



Hydronics Air Relief Valve Used to purge air. Leaking. Maintenance Required.

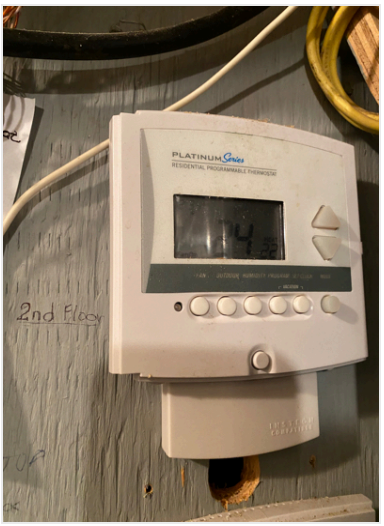
Support Photo

Reverse Osmosis A process that removes contaminants from drinking water. Replace filters as required.

Water Softener Responsible for removing calcium & magnesium ions from hard water & replaces them with sodium ions. Salt tank in garage.

Basement Slab Generally 4" thick, poured over 4" gravel & reinforcing wire. Crack(s). Seal/Monitor.

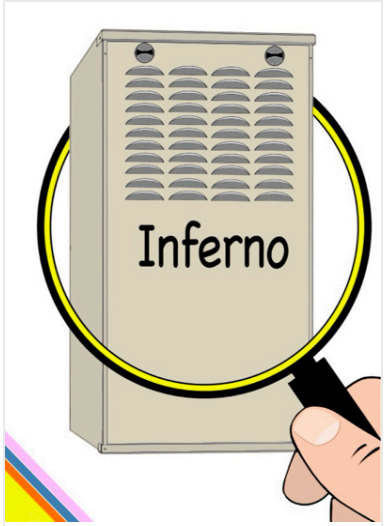
Support Photo



Forced Air Thermostats Located in mech room. Otherwise known as the stat, these allow you to easily regulate the temperature of your home. Main floor.

Support Photo 2nd floor

Support Photo Front room (office).



3rd Furnace Page 2nd heating unit for the home. Checked for function under normal operating conditions.

Data Plate Important information re: model, serial #'s, manufacturer, gallon capacity, & more. Unable to confirm age from data plate

Furnace Visually examined for common defects.

Filter Here to protect your furnace, specifically the blower fan, from all the dust, debris, hair, and other pollutants

Inside Heating Unit Visually examined for common defects.

3rd Steam Humidifier Maintenance on these consists of replacing the steam cylinder.

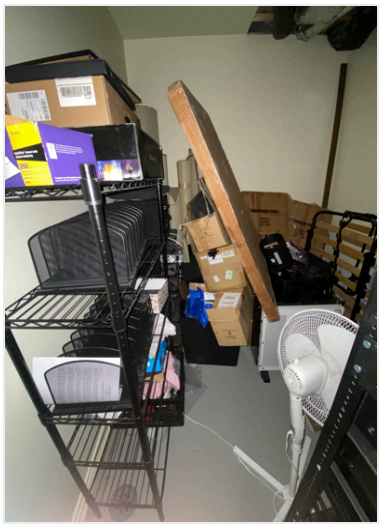
Support Photo Mech room off Theatre room.

Air Relief Valve & Water Line Used to purge air from Hydronics system. Staining. Service Advised.

Support Photo Mech room off Theatre room.

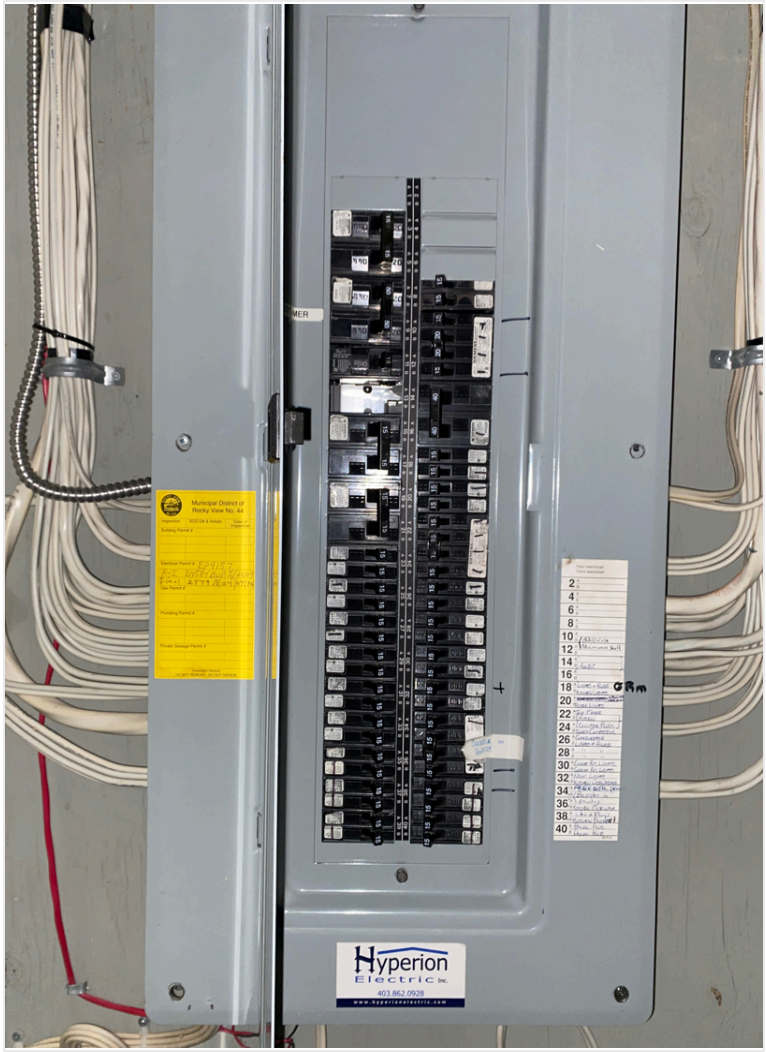
Rodent Sign & Traps Improve pest control as required. Health & Safety. Further Evaluate.

Support Photo Mech room off Theatre room.

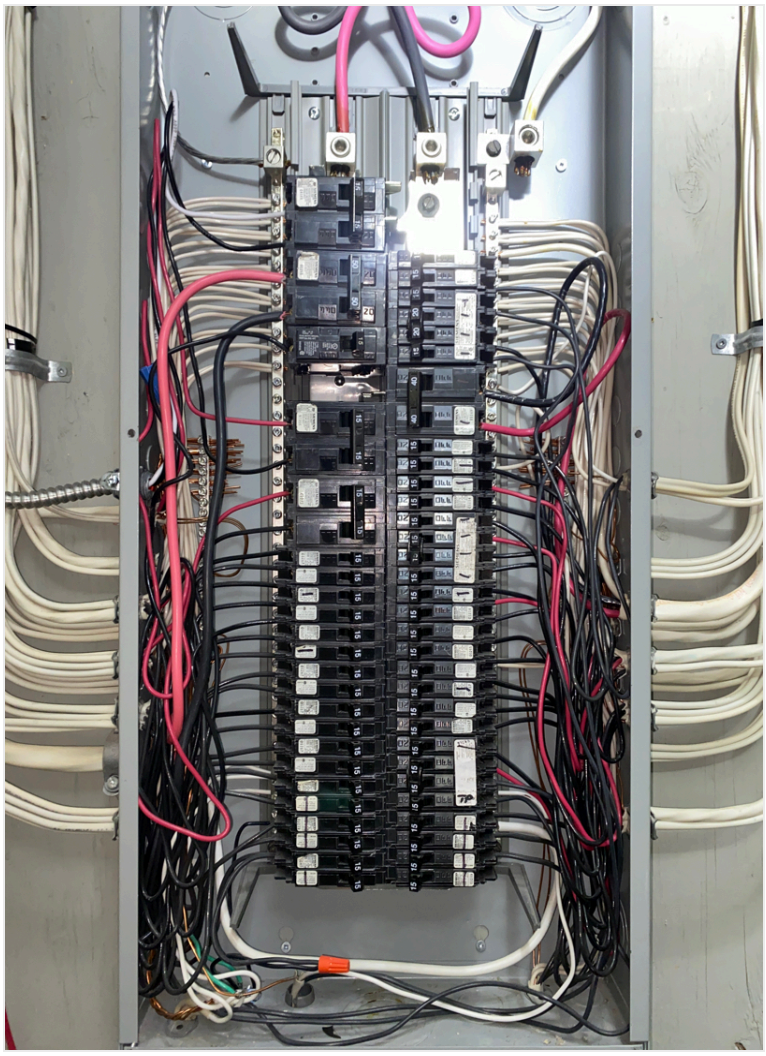


Sellers Possessions Observed. Please remember we can't see through walls or peoples belongings. Obstructing Inspection. Further Evaluate.

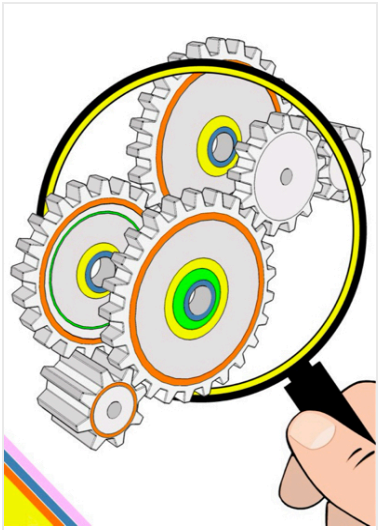
Support Photo Mech/storage room off Theatre room.



Sub Panel Also known as a satilite panel, is the sub distribution point for electrical circuits in your home. It safely divides the main electrical feed into subsidiary circuits, protecting each one with circuit breakers. Regular inspection for corrosion or loose connections is key for maintenance. Always ensure the panel is easily accessible, never cover it, and consult a professional electrician for repairs to prevent electrical fires and ensure safety. Open breaker knockout - install cap. Missing panel screws - replace.

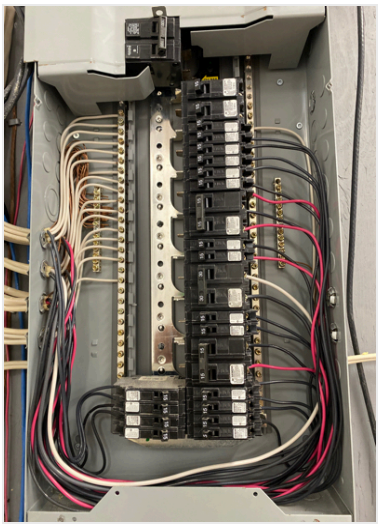


Inside Electrical Panel PLEASE, never remove the panel cover to access the breaker. Leave this to the pros.



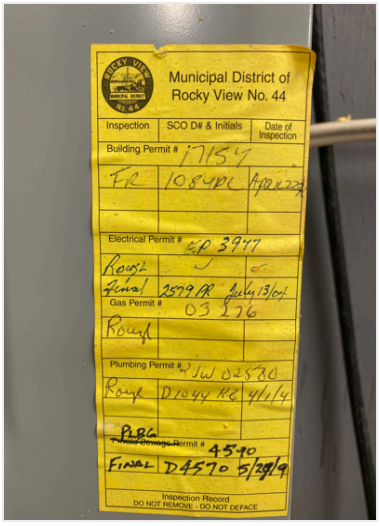
Guest House Mechanical Stuff

Mechanical Chapter The mech room is efficiently organized, housing the home's mechanical systems.



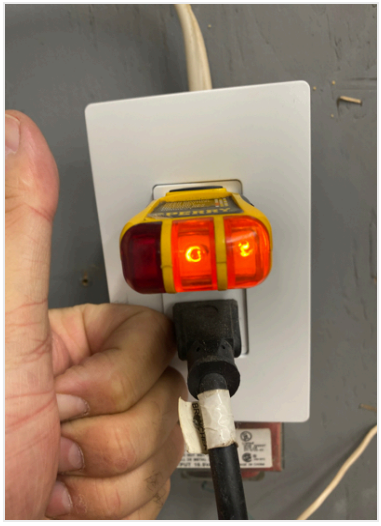
The Electrical Panel The electrical panel typically consists of a main breaker, circuit breakers and bus bars

Inside - Electrical Panel PLEASE, never remove the panel cover to access the breaker. Leave this to the pros.



The Main Breaker Generally, this will shut down everything! Designed to interrupt a large amperage load.

Labels & Stickers Inspectors & buyers like to see clear & easy-to-read labeling.



Outlet(s) Tested for anomalies.

Low Voltage Anything with 50 volts or less is considered low voltage. Outside our SOP's. Not Inspected

Main Water Shutoff Here in case of a leak! Also great when an appliance, mechanical or fixture needs to be replaced or serviced.

Additional Water Shutoff Valve Used for servicing.

Water Lines Main visible water lines that could actually be seen throughout the inspection.

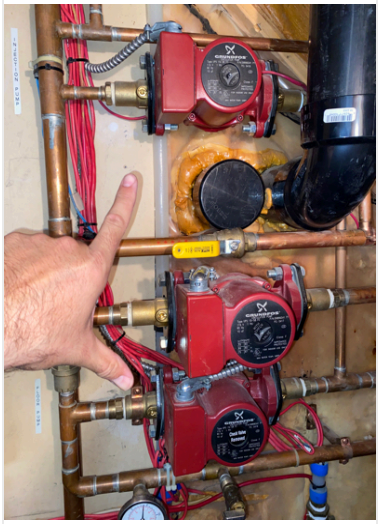
Sewer Line Responsible for channeling all of the waste from toilets, tubs & sinks out of your home.

Hot Water Unit Life expectancy of a water heater is about 8-12 years from new.

Hot Water Unit Data Plate This usually contains model & serial #. It also contains the birth date & other important info.

Hot Water Unit Thermostat This is essentially a temperature-activated regulating switch.

Support Photo



Hydronic Manifold The central place where water is distributed into pipes & sent through the radiant system.

Circulation Pumps Without these devices, the hot water wouldn't go anywhere. Responsible for pushing the fluid.

Expansion Tank Used to protect excessive pressure.

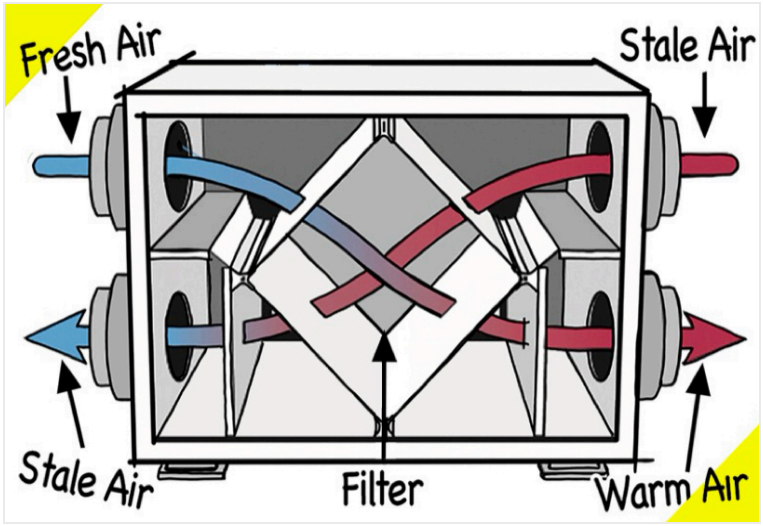
Glycol Reservoir Commonly used in antifreeze formulations & applications.

Pressure Tank Visually examined for common defects.

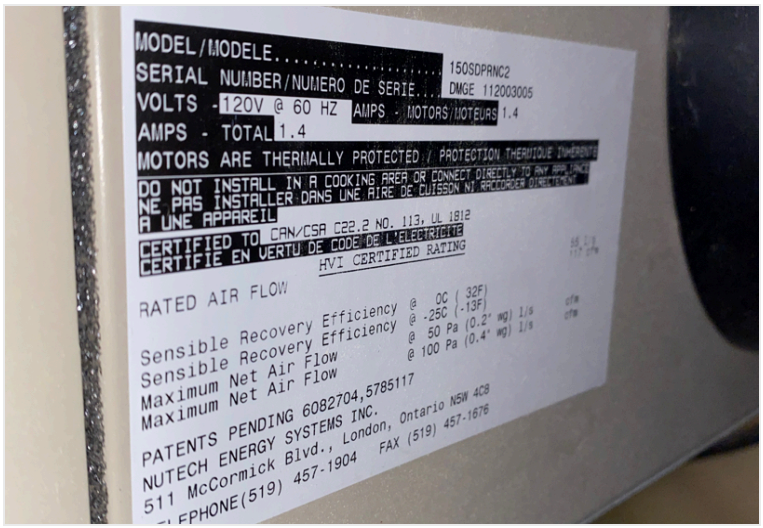
Hydronics Zone Relay

Baseboard Heaters Please keep combustables a min. of 36" away.

Support Photo

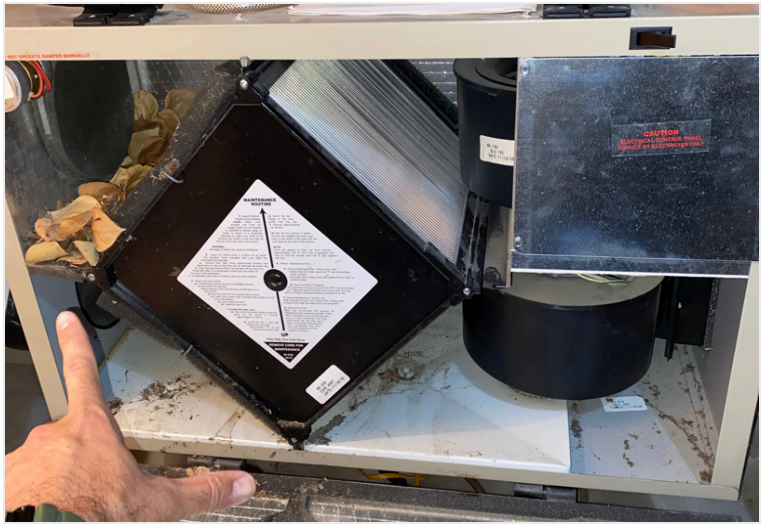


HRV Heat Recovery Ventilators exchanges indoor and outdoor air, using heat from outgoing air to warm incoming fresh air, optimizing energy use and improving indoor air quality. Excellent at reducing heating costs and preventing moisture buildup.



HRV Data Plate This usually contains model & serial #. It also contains the birth date & other important info.

Heat Recovery Ventilation Also known as mechanical ventilation, heat recovery is an energy recovery ventilation system that works between two sources at different temperatures. Heat recovery is a method that is used to reduce the heating & cooling demands of a home.



Guest House HRV Filter/Unit When any machine has its normal operation hampered, it will reduce its efficiency & ability to function properly. Many of us are probably guilty of forgetting about the basic maintenance of some of the mechanical equipment in our homes. Keeping your HRV (heat recovery ventilator) clean would be a good thing to keep high on the priority list. Examined for functionality & cleanliness. Dirty. Service Advised.

Mechanical When it comes to your mechanical room, it's not only maintenance & cleaning the unit itself you must keep in mind. Where your mechanicals are located, what's nearby, & how to move around, these all matter too.

Keeping your furnace room clean & safe should be a priority. If your furnace room doubles as a storage room, you absolutely have to make sure no cardboard boxes or plastic containers lean flush against the furnace.

Make sure a path is clear for your technician come maintenance day. That way, if maintenance & repairs need to be made, your technician can do them easily.

Used filters or old furnace parts, depending on their state, they could also be fire hazards & space wasters. As far as spacing goes, you should allow for at least 2 feet of clearance around your furnace.

Finally, make sure the manual for your furnace is within reach in the room where it's hosted. That way, if something is wrong, you'll be able to identify it more easily.

the playbook

Gathering what you need, discarding what you don't.

Hit the thumb print to find tactics or methods to form your own game plan.

There you'll find tips & tricks on maintenance, recalls, cleaning, preparing your home for sale, dealing with difficult neighbours & more.

the **insurance**

Overview

Build Year	2001
Outdoor Temperature	Approx +5°C / 41°F
Direction Home Faces	North
Vacancy	Occupied
Furnished	Yes

Roof

Inspection Limitations	Height/Slope
Approximate Age	Request Seller Disclosure
Roof Material	Asphalt Shingle
Gutter Material	Copper
Fascia Material	Wood
Soffit Material	Wood

Exterior

Inspection Limitations	Height/Visibility
Driveway / Walkway	Concrete
Window Glaze	Double Pane
Flashings	Present
Exterior Cladding	Stone & Wood
Electrical Entry	Underground
Cooling Type(s)	Air Conditioning x2
Gas Main Location	Exterior Side Yard

Garage

Inspection Limitations	Visibility/Sellers Belongings
Motor Brand	See garage section
HVAC Type	Hydronic In floor

Attic

Inspection Limitations	Access
Sheathing Material	Plywood
Approx. R-Value	R-40+
Type of Insulation	Loose Fill

Thermal

Inspection Limitations	Visibility

Health & Safety

Inspection Limitations	Visibility
Safety Features Present	Smoke Detector

Interior

Inspection Limitations	Visibility/Covered-Sellers Belongings
Thermostat Location	Multiple
Flooring Materials	Carpet, hardwood, tile
Wall Materials	Drywall
Fireplace Fuel Type(s)	Natural Gas, Wood Burning w gas started

Kitchen

Inspection Limitations	Visibility/Stored Items
GFCIs	Present

Laundromat

Inspection Limitations	Visibility

Bathroom

Inspection Limitations	Visibility/Stored Items/Access
GFCIs	Present

Mechanical

Inspection Limitations	Visibility
Main Electrical Location	Main Mechanical Room, Sub Panel in Theatre mech
Main Amp	200 AMP
Wiring Material	Copper
System Ground	Undetermined
Electrical Bonding	Undetermined
AFCI Breakers	Present
Heating Type(s)	Forced Air Furnace - Consider precision tune up
Heating Fuel	Hydronics furnaces x3
Water Supply Source	Public
Hot Water Fuel	Natural Gas, Boilers x2 & Tank
Water Line Material	Copper & PEX
Sewer Material(s)	ABS
Main Drain	Present
Backwater Valve	Undetermined
Water Main Location	Main Mechanical Room
Sump Pump	Not Present/Visible/Check Listing
Waste Lift Station	n/a
+ Heat Source	Infloor Hydronic

Structure

Inspection Limitations	Visibility/Mosty covered
Foundation Type	Concrete
Structure Type	Engineered & Dimensional
Roof Structure	Truss
Walls Structure	2x6 Studs

72 seconds

Positive reviews from awesome customers like you help others to feel confident about choosing twenty20 & our “to the point” reporting methodology.

We’d so appreciate if you could take 72 seconds to click on our logo below and share your happy experience.

Thanks in advance

the agreement

Twenty20 & Co.

2017 27 Ave SW
Calgary, Alberta
4038365528
www.2020mhi.com

Inspection Date
October 7, 2024

Inspection Address
268 Snowberry Circle
Rural Rocky View County, Alberta

This Agreement is Between
Chris Bartole as **("Client")** and Twenty20 & Co. as **("Company")**

Sample Contract Disclaimer

Please note that any sample contracts provided by Inspectagram on this platform (the "Sample Contracts") are for informational purposes only and are not intended to be a substitute for professional legal advice. Inspectagram strongly advises users to seek independent legal advice to ensure that any agreement between a user and its clients: (i) accurately reflect their mutual intent; and (ii) complies with all applicable laws and regulations. Inspectagram provides the Sample Contracts on an "as is" and "where is" basis, and disclaims all representations, conditions, guarantees and warranties, statutory, express or implied, including but not limited to, implied warranties of merchantability, fitness for a particular purpose, non-infringement of proprietary rights, correctness, accuracy, and reliability. The use of any Sample Contract provided by Inspectagram is solely at the user's sole risk and discretion: Inspectagram accepts absolutely no liability whatsoever with respect to any use of the Sample Contracts by any person. Please note that any access or use of Inspectagram's services, including any access and use of the Sample Contracts, are governed by the Terms of Service Terms of Use (inspectagram.io). By using our services, users agree to the Terms of Service, including the disclaimers, indemnities, and limitation of liability set out in that agreement. The limited license that is granted to users to use the Sample Contracts is non-exclusive, revocable, non-assignable, and cannot be sublicensed.

1. Preamble

Subject to the terms and conditions of this service contract (the "Service Contract"), dated as of the date signed by the Client on the signature page, the Client wishes to engage Company and the Inspector, and Company and the Inspector agree to perform the inspection at the address provided above (the "Dwelling") on the date and time noted above ("Inspection Date") in consideration of the payments, covenants and agreements set out herein:

2. Purpose

The purpose of the Inspection is to take reasonable efforts to endeavor to detect the presence of home defects in the Dwelling by performing a visual, non-invasive inspection of the readily accessible components of the Dwelling and provide a same-day written report (or within 1 business day) containing high-level findings and identification of the defects observed and deemed material by Inspector (the "Report").

the agreement

3. Scope
The scope of the Inspection is limited to a visible, non-invasive inspection of the readily accessible components of the Dwelling existing and apparent on the date and time of the Inspection, utilizing, where applicable and appropriate, the InterNACHI Standards of Practice as a guideline unless otherwise noted or not possible. The Inspection excludes latent defects that cannot be reasonably detected by Inspector in connection in a one-day inspection aimed at producing a same-day report. The Inspection is not a building code, title, or by-law compliance inspection. As a courtesy only, the Inspector may note conditions that contribute to possible home issues or offer other commentary, but such comments are not part of the Inspection.

4. Client Responsibilities
It is the responsibility of the Client to obtain from the Dwelling owner a disclosure of any known defects on or before the Inspection Date.

5. Exclusivity
The Report is intended for the exclusive use and benefit of the Client. The Client agrees to give the Inspector permission to discuss observations with real estate agents or other interested parties. INSPECTOR AND COMPANY (AND THEIR SUPPLIERS) ACCEPT NO RESPONSIBILITY FOR USE BY THIRD PARTIES AND IF THE REPORT IS PROVIDED TO ANOTHER THIRD PARTY BY YOU OR ANY PERSON ACTING ON YOUR BEHALF, YOU RELEASE INSPECTOR AND COMPANY (AND THEIR SUPPLIERS) FROM ANY LIABILITY AND AGREE TO PAY ANY ASSOCIATED COSTS.

6. Assignment
This Agreement is not transferable or assignable by the Client.

7. Litigation
The parties agree that any litigation arising out of this Agreement shall be filed in Alberta. If Inspector and/or Company is the substantially prevailing party in any such litigation, the Client shall pay all costs, expenses, and legal fees of Inspector and Company in defending said claims.

8. Excluded
The Inspection will NOT address environmental concerns including, but not limited to: air quality, water quality/quantity, sealed/underground fuel storage tanks, asbestos, radon gas, molds, toxins, lead paint, or soil contamination. The inspection report will also NOT address infestation by wood boring insects, rodents or other vermin. The Client understands and acknowledges that it may be necessary to call on specialists in these areas to identify and evaluate these risks. The Inspection contract does not include an inspection of any outbuildings or other structures not attached to the dwelling other than a garage or carport.

the agreement

9. Included
The Inspection will include an inspection of the following components of the dwelling unless access is limited, weather or other conditions do not permit it: roofing; flashings or chimney; exterior including lot gradings, walkways, driveways, retaining walls, patios and decks; structure; electrical; heating and cooling systems (inspection of which shall be limited to external visual condition only); insulation; plumbing; interior.

10. Release / Disclaimer of Warranty
TO THE MAXIMUM EXTENT PERMITTED BY APPLICABLE LAW, THE CLIENT HEREBY RELEASES AND WAIVES ANY CLAIM IT MAY HAVE AGAINST THE INSPECTOR AND COMPANY (AND THEIR SUPPLIERS) FOR DEFECTS, ISSUES AND OTHER THINGS THAT MAY NOT REASONABLY BE DETERMINED DURING THE REGULAR COURSE OF A VISUAL INSPECTION OF READILY ACCESSIBLE COMPONENTS OF A DWELLING. THE CLIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT THE INSPECTION AND REPORT ARE NOT MEANT TO REFLECT OR CONSTITUTE A COMPREHENSIVE HOME INSPECTION (WHICH WOULD REQUIRE AN INSPECTION OF THE DWELLING BEYOND A VISUAL INSPECTION OF READILY ACCESSIBLE COMPONENTS). ACCORDINGLY, THE CLIENT EXPRESSLY ACKNOWLEDGES AND AGREES THAT THE SERVICES AND REPORTS ARE PROVIDED ON AN "AS IS" BASIS WITHOUT ANY REPRESENTATION, WARRANTY OR CONDITION OF ANY KIND, EITHER EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO THE IMPLIED REPRESENTATIONS, WARRANTIES OR CONDITIONS OF ACCURACY, AVAILABILITY, MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. NEITHER THE INSPECTOR OR COMPANY (OR THEIR SUPPLIERS) REPRESENT NOR WARRANT THAT THE INSPECTION OR REPORT WILL MEET THE CLIENT'S REQUIREMENTS OR THAT THEY WILL BE ERROR-FREE. THE INSPECTION AND THE REPORT ARE IN NO WAY A GUARANTEE, WARRANTY OR INSURANCE POLICY, EXPRESS OR IMPLIED, REGARDING THE FUTURE USE, OPERABILITY, HABITABILITY, SUITABILITY OF THE DWELLING OR THAT HIDDEN DEFECTS DO OR DO NOT EXIST.

11. Limitation of Liability
TO THE MAXIMUM EXTENT PERMITTED BY APPLICABLE LAW: (I) IN NO EVENT SHALL COMPANY AND INSPECTOR (OR THEIR SUPPLIERS) BE RESPONSIBLE OR LIABLE FOR ANY CONSEQUENTIAL, EXEMPLARY, SPECIAL OR INCIDENTAL DAMAGES OR FOR THE LOSS OF THE USE OF THE DWELLING WHATSOEVER; AND (II) DAMAGES OR LIABILITY ARISING OUT OF OR IN CONNECTION WITH THIS AGREEMENT SHALL BE LIMITED TO DIRECT AND PROVABLE DAMAGES AND SHALL IN NO EVENT EXCEED THE AMOUNTS PAYABLE UNDER THIS AGREEMENT BY THE CLIENT.

12. Entire Agreement
This Agreement represents the entire agreement between the parties. No statement or promise made by Company or its respective officers, agents, contractors or employees shall be binding.

13. Payment
Payment of the fee set out in the receipt is due upon completion of the Inspection. The Client agrees to pay all legal and time expenses incurred in collecting due payments, including attorney's fees, if any.

14. Report Delivery
Unless otherwise agreed to, the Report will be delivered to the Client within the same day or within 1 business day of the Inspection Date (if the Inspection is completed).

15. Severance and Enforceability

If any provision of this agreement is invalid under any applicable statute or is declared invalid by a court of competent jurisdiction, then it shall be deemed to be severed from this agreement provided, however, that the remainder of this agreement shall continue in full force and effect.

16. Authorization

If there is more than one Client, you are signing on behalf of all of them, and you represent that you are authorized to do so. If the Client is a corporation or similar entity, you personally guarantee payment of the fee.

17. Software Disclaimer

Client acknowledges that the Inspector and/or Company may use software and applications provided by third parties, in connection with performing the Inspection. CLIENT HEREBY ACKNOWLEDGES AND AGREES THAT ANY SUCH THIRD PARTY, IS NOT A PARTY TO THIS AGREEMENT AND (II) IN NO EVENT SHALL ANY SUCH THIRD PARTY BE LIABLE OR RESPONSIBLE FOR ANY LOSSES, LIABILITY, CLAIMS, COSTS AND EXPENSES ARISING OUT OF OR IN CONNECTION WITH THE INSPECTION OR THE USE OF SUCH THIRD PARTY'S SOFTWARE OR APPLICATIONS BY THE INSPECTOR.

Jordan Tanaka
Lic#:354506

Chris Bartole
Signed October 8, 2024 at 12:24PM MDT